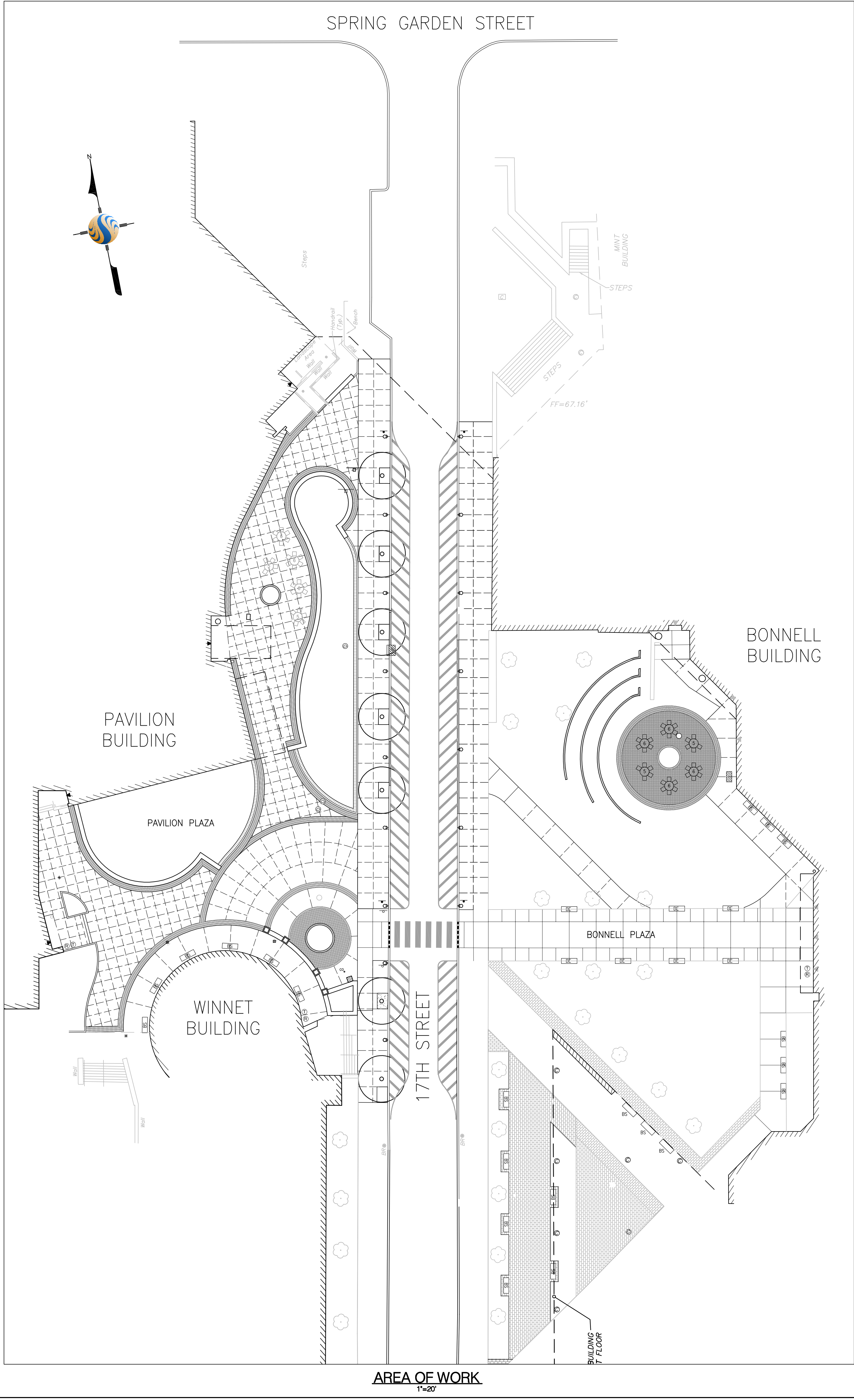


PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS

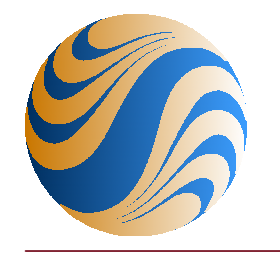
COMMUNITY COLLEGE OF PHILADELPHIA

17TH STREET AND SPRING GARDEN STREET
PHILADELPHIA, PENNSYLVANIA



DRAWING INDEX:

SHEET TITLE	NO.	SHEET
COVER SHEET	G001	1 OF 14
17TH STREET IMPROVEMENT PLAN	C110	2 OF 14
MODIFIED EXISTING CONDITIONS & DEMOLITION PLAN	C200	3 OF 14
EROSION & SEDIMENT CONTROL PLAN	C300	4 OF 14
SITE LAYOUT & MATERIALS PLAN	C400	5 OF 14
GRADING PLAN	C600	6 OF 14
UTILITY PLAN	C700	7 OF 14
CIVIL & LANDSCAPE CONSTRUCTION DETAILS	C800	8 OF 14
CIVIL & LANDSCAPE CONSTRUCTION DETAILS	C801	9 OF 14
LANDSCAPE PLAN	L100	10 OF 14
ELECTRICAL & SITE LIGHTING PLAN BONNELL PLAZA	E100	11 OF 14
LIGHTING & ELECTRICAL DETAILS	E101	12 OF 14
17TH STREET LIGHTING & ELECTRICAL PLAN	E102	13 OF 14
ELECTRICAL & SITE LIGHTING PLAN PAVILION PLAZA	E103	14 OF 14

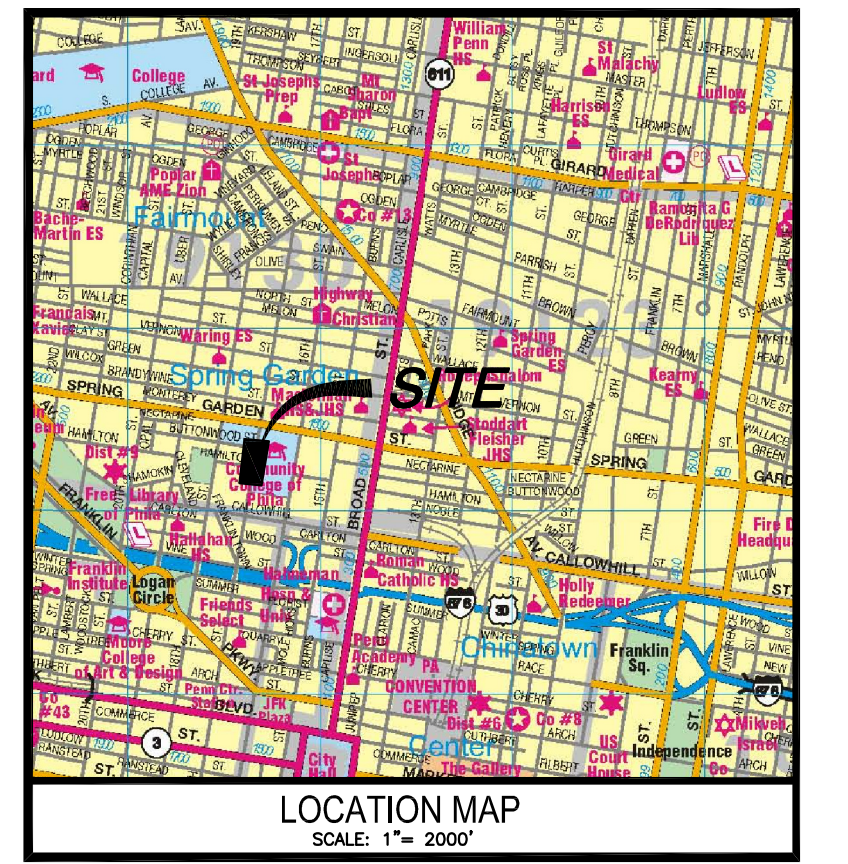


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Notes



7 ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6 CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
5 CONSTRUCTION SET	CPN	MJC	13.10.18
4 ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
3 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
2 SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1 SUBMISSION TO CCP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	By	Appd.	YY.MM.DD

File Name: 177901252-g001.dwg	LDL	MJC	LDL	13.02.04
	Desn.	Chkd.	Desn.	YY.MM.DD

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COMMUNITY COLLEGE
OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS
& 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title

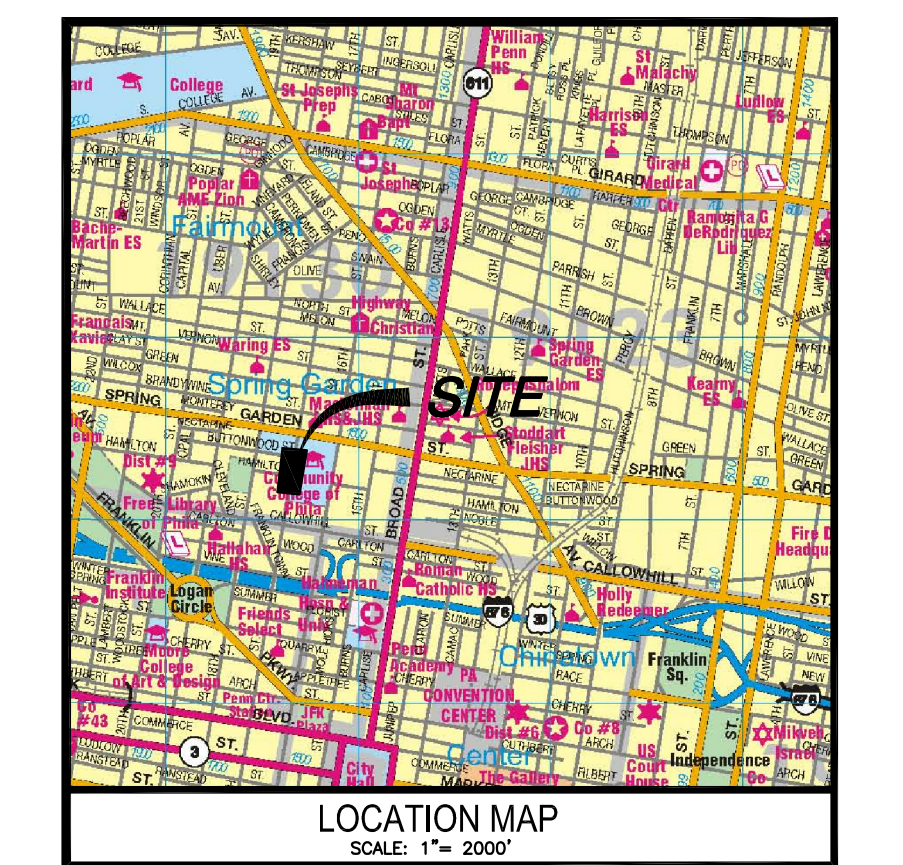
COVER SHEET

Project No.	Scale	
177901252	1"=20'	
Drawing No.	Sheet	Revision
G001	1 of 14	0

CONTRACTOR SHALL NOTIFY UTILITIES COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT No.287. UTILITIES COMPANIES HAVE ASSIGNED SERIAL #'S 2995492, 2995496, 2995507, TO THIS LOCATION BY HUNT ENGINEERING & SERIAL #'S 20121790546, 20121790547 BY STANTEC CONSULTING SERVICES INC.

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Notes



- GENERAL NOTES:**
- ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED DD.
 - SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 420757-01B3G, LAST REVISED JANUARY 17, 2007.
 - UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT-OF-WAY.
 - PLAN MADE AS PER INSTRUCTIONS OF COMMUNITY COLLEGE OF PHILADELPHIA.
 - ALL PROPOSED UTILITY SERVICES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 187 AS AMENDED.
 - NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAVE BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).
 - CHILLED WATER MAINS LOCATED SOUTH OF BONNELL AND WINNET BUILDINGS (CROSSING 17TH STREET) ARE APPROXIMATELY LOCATED PER PLAN TITLED "PARTIAL SITE PLAN, DETAILS & DIAGRAMS, MECHANICAL" FOR PROJECT TITLED COMMUNITY COLLEGE OF PHILADELPHIA STUDENT LIFE AND INSTRUCTION BUILDING AND GYMNASIUM BUILDING DATED JUNE 5, 1989.

- DEMOLITION NOTES:**
- CONTRACTOR TO COORDINATE ALL DEMOLITION WORK WITH THE ARCHITECTURAL PLANS SUPERCEDES THIS SHEET.
 - CONTRACTOR SHALL CARRY OUT DEMOLITION IN SUCH WAY AS TO PROTECT SITE ELEMENTS TO REMAIN. SITE ELEMENTS DAMAGED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - SITE CLEARING SHALL INCLUDE THE REMOVAL AND PROPER DISPOSAL, ACCORDING TO LAW OF, ALL MATERIALS, PAVEMENT ENCOUNTERED WITHIN THE DEVELOPMENT AREA, WHETHER SHOWN OR NOT. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LANDFILL IN ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS AND REGULATIONS. THE PROPER DISPOSAL SHALL INCLUDE ALL FEES ASSOCIATED WITH SUCH DISPOSAL. BURNING OF DEMOLITION DEBRIS IS NOT PERMITTED.
 - DEMOLITION AND REMOVAL OF DEMOLITION DEBRIS SHALL BE CONDUCTED IN SUCH A MANNER AS TO PREVENT THE SEDIMENTATION OF THE EXISTING DRAINAGE SYSTEM. ALL AREA DRAINS LOCATED IMMEDIATELY DOWNSTREAM OF THE PROJECT SHALL BE PROTECTED UNTIL COMPLETION OF THE DEMOLITION, GRADING, AND CONSTRUCTION OPERATIONS.
 - CONTRACTOR TO CUT AND CAP EXISTING UTILITIES (SANITARY, STORM, ETC.) WHICH ARE TO BE ABANDONED.
 - PERMANENT DISCONNECTION OF UTILITIES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT STANDARDS. TRENCH AND FOOTWALK RESTORATION TO BE CONDUCTED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DEPARTMENT OF STREETS STANDARD DETAILS AND SPECIFICATIONS.
 - ALL DEMOLITION TO BE COMPLETED IN ACCORDANCE WITH UTILITY COMPANY AND/OR CITY REGULATIONS, WHICHEVER APPLIES.
 - IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS (HYDRAULIC FLUID, ETC.) ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER.
 - REMOVE EXISTING TRASH CANS, SIGNS AND OTHER SITE AMENITIES ASSOCIATED WITH DEMOLITION, AS REQUIRED.
 - THIS PLAN DOES NOT SPECIFY CONSTRUCTION PHASING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONSULT WITH THE OWNER FOR SPECIFIC PHASING INSTRUCTIONS.

ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
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File Name	177901252-c200.dwg	LDL	MJC	LDL	2013.02.04
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Client/Project

COMMUNITY COLLEGE OF PHILADELPHIA

PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title

MODIFIED EXISTING CONDITIONS & DEMOLITION PLAN

Project No.	Scale	
177901252	1"=20'	
Drawing No.	Sheet	Revision
C200	3 of 14	0

LEGEND - PROPOSED FEATURES

DEMOLITION FEATURES

- CONCRETE PAVEMENT AREA TO BE REMOVED
- ASPHALT PAVEMENT AREA TO BE REMOVED
- BELGIAN BLOCK TO BE REMOVED

LEGEND - EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BUILDING
- GREEN ROOF BUILDING
- CHAIN-LINK FENCE
- BITUMINOUS PAVEMENT
- POROUS PAVEMENT
- CONCRETE
- DEPRESSED CURB
- CURB
- COBBLESTONE AREA (SEE LANDSCAPE PLANS)
- CURB INLET
- GRATE INLET
- TRENCH DRAIN
- DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER MANHOLE
- GAS VALVE
- BOLLARD
- SQUARE POST
- TELECOMMUNICATIONS MANHOLE
- TELECOMMUNICATIONS JUNCTION BOX
- UTILITY POLE
- ELECTRIC MANHOLE
- LIGHT POLE
- ELECTRIC METER BOX
- TRAFFIC LIGHT
- SANITARY MANHOLE
- SANITARY CLEAN OUT
- STAND PIPE
- COLUMN
- CONCRETE COLUMN
- PARKING METER
- CONCRETE PLANTER BOX
- SIGN
- HANDICAPPED PARKING SIGN
- MONITORING WELL
- VENT
- DECIDUOUS TREE (SEE LANDSCAPE PLANS)
- BORING LOCATION
- LANDSCAPE PLANTER AREA (SEE LANDSCAPE PLANS)
- INDEX CONTOURS
- CONTOURS
- SPOT ELEVATION
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- TELECOMMUNICATIONS LINE
- ELECTRIC LINE
- GAS PIPE

KEY NOTES

- DEMOLISH EXISTING CONCRETE PAVING AND AGGREGATE BASE COURSE.
- SAW CUT JOINT CONNECTING BUILDING CORNER, DEMOLISH EXISTING SIDEWALK TO JOINT, PROTECT AND MAINTAIN COLUMNS AND HANDICAP DOOR CONTROL. SEE PAVILION ENTRANCE INSET.
- DEMOLISH EXISTING WALK, RAMP AND ADJACENT CURB
- PROTECT AND MAINTAIN STAIRS, LANDING AND RAILING
- DEMOLISH PARTIAL STAIRS AND CONCRETE WALK TO JOINT. SEE WINNET ENTRANCE INSET.
- REMOVE EXISTING PARKING KIOSK/SIGNAGE. STORE TEMPORARILY IN SECURE LOCATION, COORDINATE STORAGE AND RELOCATION WITH PHILADELPHIA PARKING AUTHORITY.
- CUT/CAP UTILITIES TO BE ABANDONED. MAIN TRUNK LINE TO BE REUSED
- EXISTING UTILITY STRUCTURES TO REMAIN. RIM/GRATE ELEVATIONS TO BE RESET AS REQUIRED
- DEMOLISH RETAINING WALL, PROTECT AND MAINTAIN EXISTING BUILDING PROJECTION WALL. SEE GYM ENTRANCE INSET.
- CONTRACTOR TO REMOVE AND SALVAGE GRANITE BLOCKS FOR RE-USE (4 TIERS). CLEAN BLOCKS - BUFF WITH STEEL BRUSH
- REMOVE PAINTED CROSSWALK AREA
- REPAIR AND CLEAN EXISTING BRICKWORK. EXISTING DAMAGED OR MISSING BRICKWORK TO BE REPLACED IN KIND. CONTRACTOR TO MATCH ALL CHARACTERISTICS OF EXISTING BRICKWORK AND GROUTING. ALL BRICK TO BE REPOINTED.
- CLEAN GAP BETWEEN WALL AND STEPS AND GROUT GAP. GROUT TO MATCH STEP CONFIGURATION.
- REMOVE EXISTING "TOP DIRECTIONAL SIGN" AND FOUNDATION. STORE SIGN FOR REUSE. SEE SHEET C400 FOR PROPOSED LOCATION.
- REMOVE ALL EXISTING SQUARE METAL POSTS
- REMOVE ASPHALT PAVEMENT AND AGGREGATE BASE TO NEW CURB/ RAISED PLANTER LIMITS (SEE SHEET C400)
- REMOVE EXISTING BELGIAN BLOCK - STORE FOR REUSE, COORDINATE WITH OWNER'S REPRESENTATIVE.
- REMOVE EXISTING BELGIAN BLOCK AND MORTAR SETTING BED. STORE BELGIAN BLOCK FOR REUSE, COORDINATE WITH OWNER'S REPRESENTATIVE.
- REMOVE EXISTING TRASH CANS, SIGNS AND OTHER SITE AMENITIES ASSOCIATED WITH DEMOLITION, AS REQUIRED.
- THIS PLAN DOES NOT SPECIFY CONSTRUCTION PHASING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONSULT WITH THE OWNER FOR SPECIFIC PHASING INSTRUCTIONS.

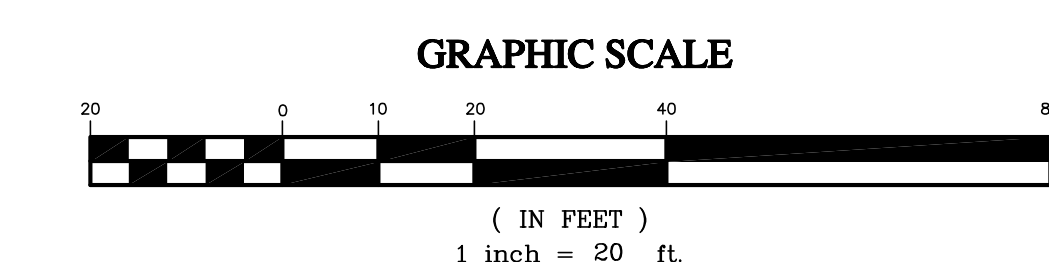
CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE CALL. ONE CALL SERIAL NO. 2995492, 2995498, 2995507, 20121790546, 20121790547.

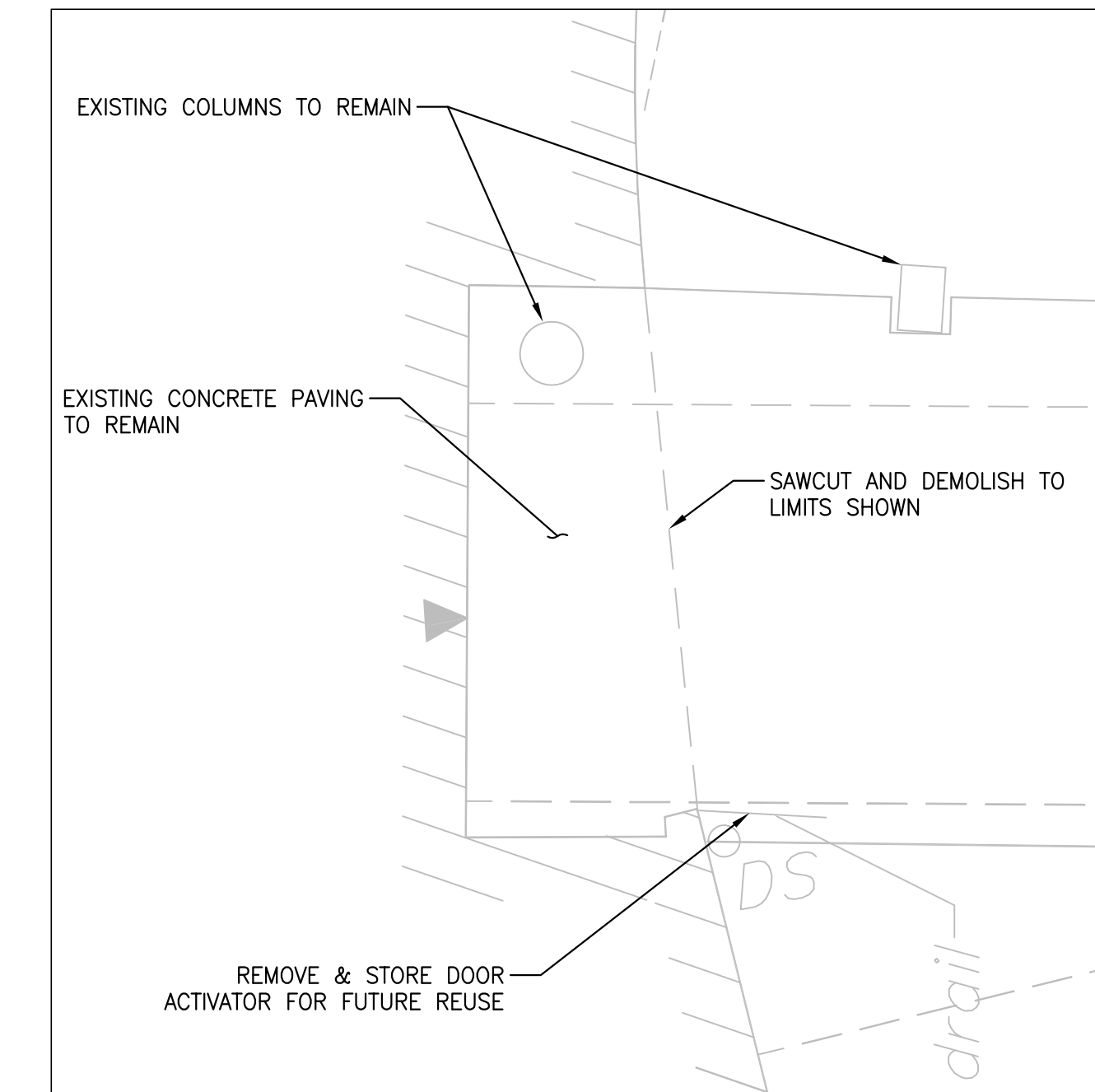
Pennsylvania One Call System, Inc.
1-800-242-1776

UTILITY NOTE

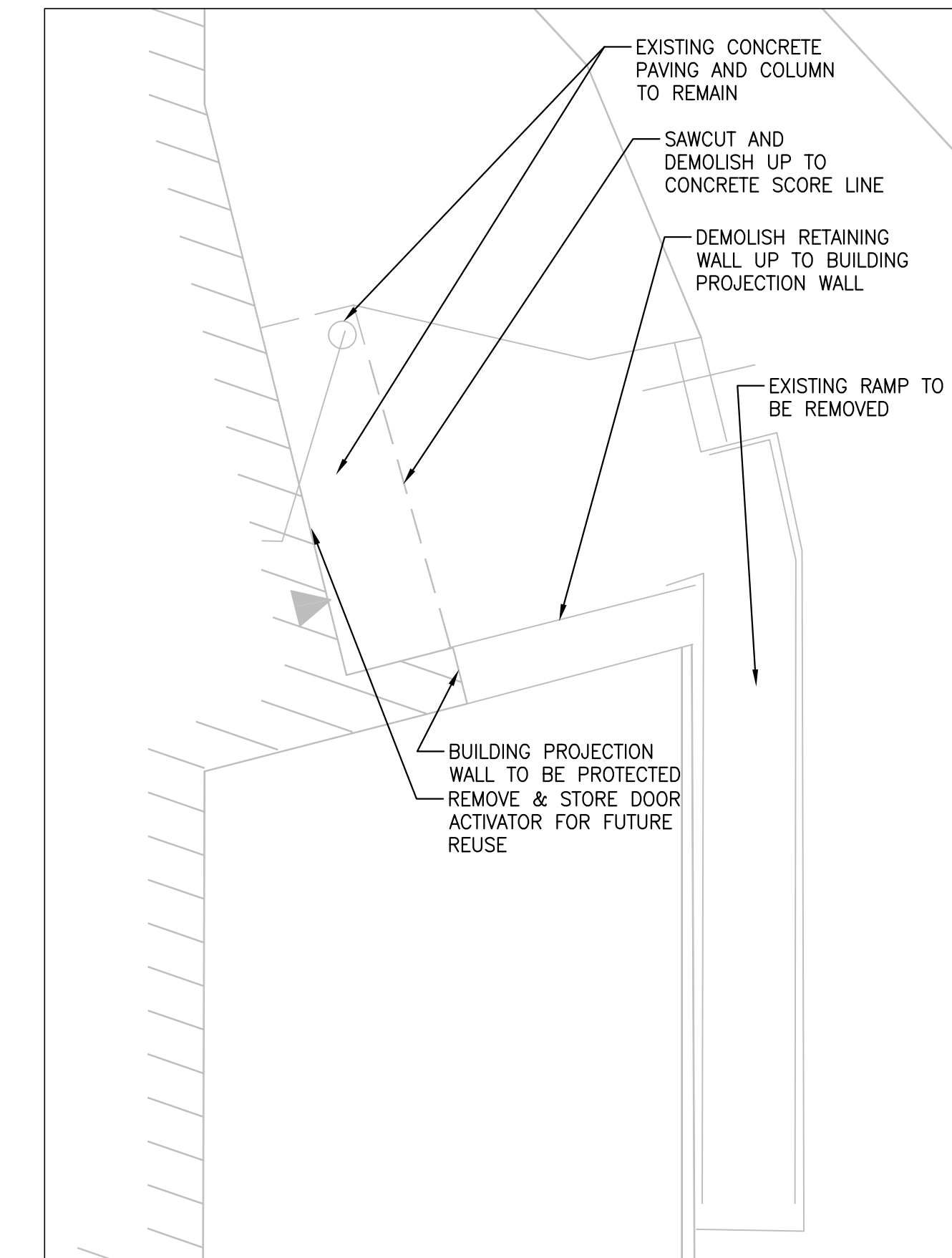
THE LOCATION OF UNDERGROUND UTILITIES AND FIELD LOCATION OF VENTS, VALVES, MANHOLES, INLETS, ETC. PROVIDED BY HUNT ENGINEERING. THE EXTENT, EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES HAS NOT BEEN INDEPENDENTLY VERIFIED BY STANTEC, THE OWNER, OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXTENT AND EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT No.287. UTILITY COMPANIES HAVE ASSIGNED SERIAL #'S 2995492, 2995498, 2995507 TO THIS LOCATION BY HUNT ENGINEERING & SERIAL #'S 20121790546, 20121790547 BY STANTEC CONSULTING SERVICES INC.



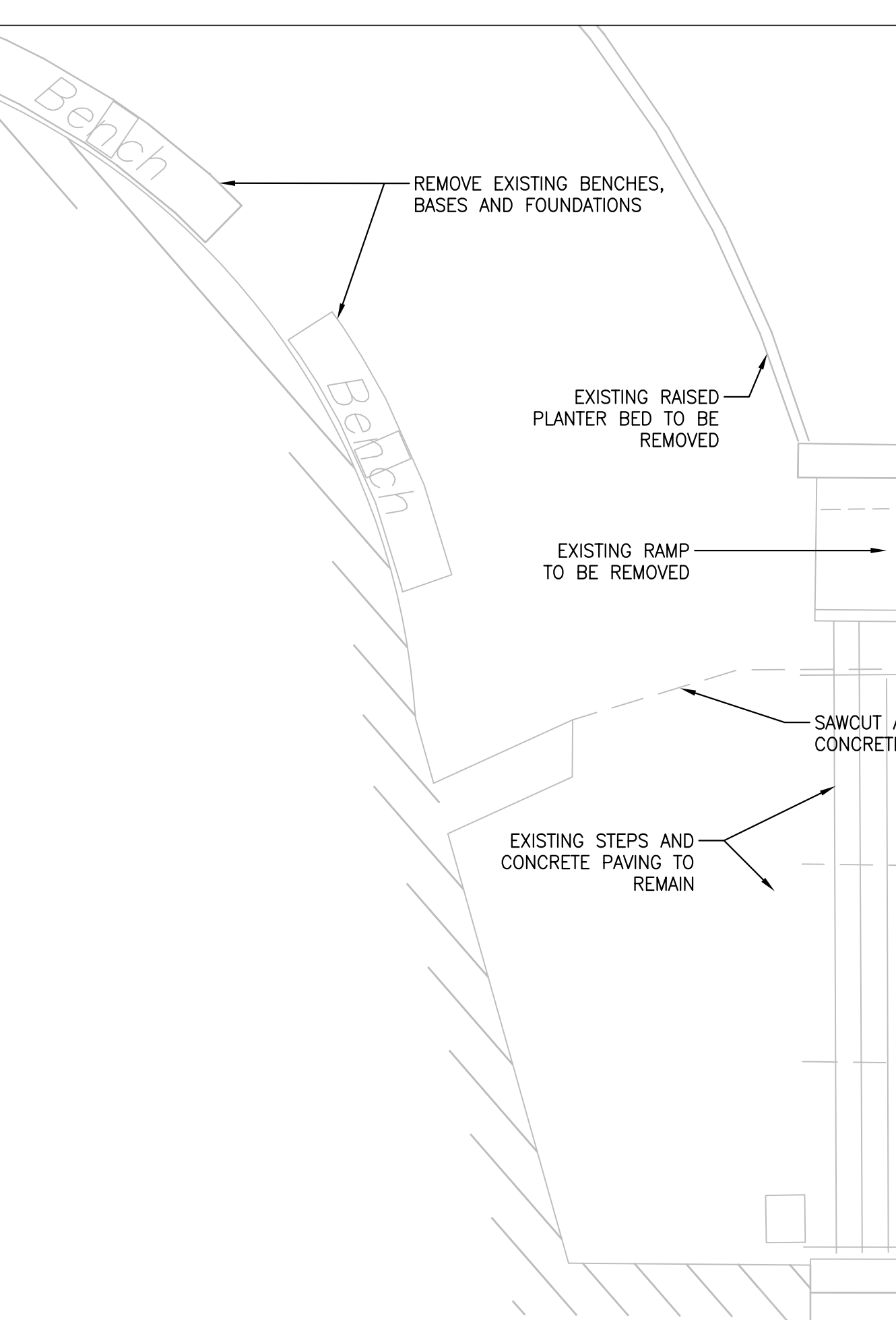
NOTE:
SEE SHEET C110 FOR ADDITIONAL INFORMATION REGARDING DEMOLITION & IMPROVEMENTS IN 17TH STREET R.O.W.



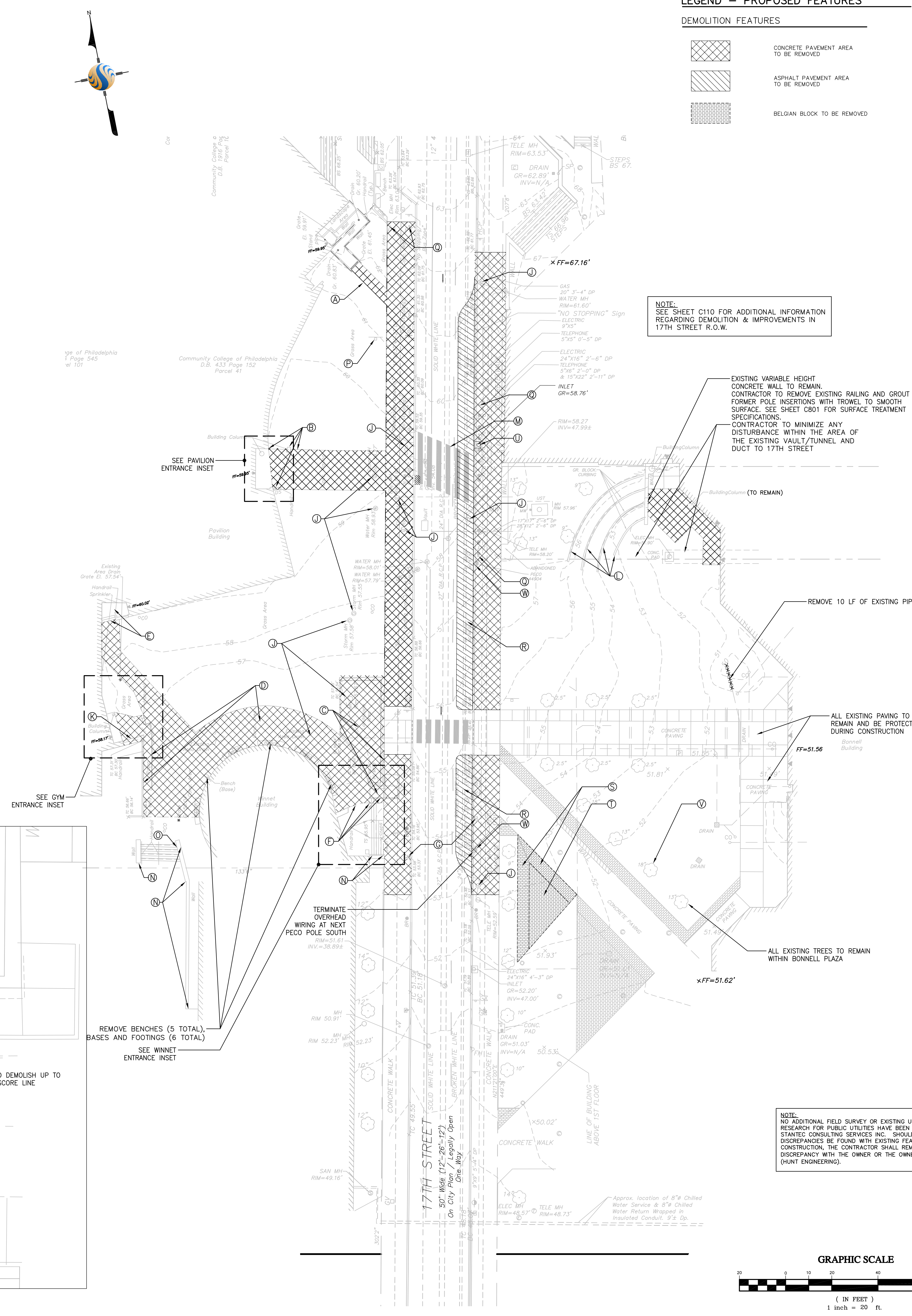
PAVILION ENTRANCE INSET
1"=5'



GYM ENTRANCE INSET
1"=5'



WINNET ENTRANCE INSET
1"=5'



SEQUENCE OF CONSTRUCTION:
 THE PURPOSE OF THIS PLAN IS TO DOCUMENT THE E&S MEASURES NECESSARY TO CONTROL THE EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH THE CONSTRUCTION OF PROPOSED SIDEWALK, ACCESSIBLE RAMPS AND HARDSCAPE AMENITIES FOR THE BONNELL BUILDING ON 1600 SPRING GARDEN STREET.
 ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED.
 AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVOKE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO THE LAND OWNER AND ALL APPROPRIATE CITY OFFICIALS TO A SITE MEETING.
 PRIOR TO ANY EARTHWORK, CONTACT THE INSPECTIONS COORDINATOR OF PHD (OFFICE 215-685-6387) AND PA DEP TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH PHD'S EROSION AND SEDIMENT CONTROL INSPECTION GROUP.
 1. INSTALL OR MAINTAIN INLET PROTECTION ON ALL DOWNSTREAM EXISTING CITY-OWNED (STREET) INLETS WITHIN ONE (1) BLOCK OF THE PROJECT SITE. NOTE THAT PHD IS NOT RESPONSIBLE FOR ANY DAMAGE OR MAINTENANCE TO ANY CITY-OWNED INLETS THAT HAVE BEEN ADVERSELY IMPACTED AS A RESULT OF FAULTY EROSION AND SEDIMENTATION CONTROL PRACTICES.
 2. MAINTAIN AND REPAIR, AS NEEDED, THE STABILIZED CONSTRUCTION ENTRANCE FOR THE BONNELL BUILDING IMPROVEMENTS.
 3. DEMOLISH EXISTING SITE FEATURES NOTED TO BE REMOVED WITHIN THE AREA OF WORK. CONTRACTOR TO REMOVE AND/OR CUT AND CAP EXISTING UTILITIES ON SITE IF REQUIRED.
 4. DEMOLISH EXISTING SITE FEATURES NOTED TO BE REMOVED WITHIN THE AREA OF WORK. CONTRACTOR TO REMOVE AND/OR CUT AND CAP EXISTING UTILITIES ON SITE IF REQUIRED.
 5. REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION.
 6. CLEAN FILL TAKEN FROM EXCAVATION AND TOPSOIL FROM SITE SHALL BE STOCKPILED IN ACCORDANCE WITH PA DEP GUIDELINES FOR FUTURE USE ON SITE. CLEAN FILL EXCAVATED FOR FOUNDATIONS OF PROPOSED BUILDINGS SHALL BE TAKEN OFFSITE WITH THE EXCEPTION OF MINIMAL AMOUNTS OF FILL TO BE USED ON SITE FOR REGRADING. TOPSOIL AND LARGE MATERIALS TO BE SEPARATELY STORED TEMPORARILY AND STABILIZED WITH SEED AND MULCH. IF ANY SOIL IS TO BE REMOVED FROM THE SITE, IT MAY ONLY BE TAKEN TO A SITE WITH AN APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
 7. ROUGH GRADE SITE TO SUBGRADE ELEVATIONS.
 8. WHEN ALL CONSTRUCTION IS COMPLETE, STABILIZE ANY DISTURBED AREAS WITH SEED AND MULCH.
 9. INSTALL PROPOSED LANDSCAPING.
 10. WHEN ALL AREAS TRIBUTARY TO THE EXISTING AND PROPOSED INLETS HAVE BEEN STABILIZED, THE INLET PROTECTION AND OTHER E&S CONTROLS MAY BE REMOVED.

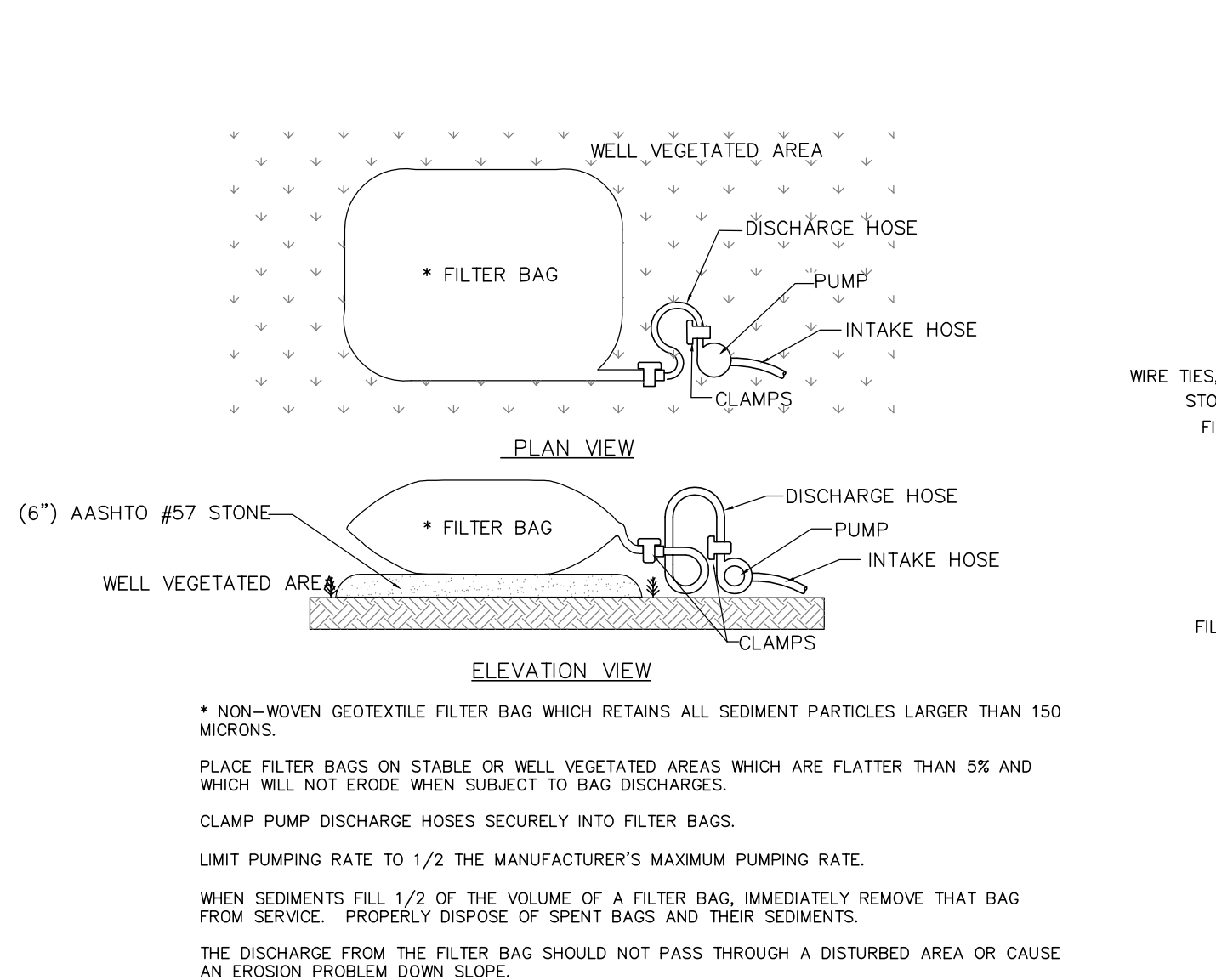
SEQUENCE OF CONSTRUCTION - BONNELL BUILDING:
 1. MAINTAIN THE INLET PROTECTION ALONG 17TH STREET AS SHOWN.
 2. DEMOLISH EXISTING SITE FEATURES NOTED TO BE REMOVED WITHIN THE AREA OF WORK AS NOTED ON "MODIFIED EXISTING CONDITIONS AND SITE DEMOLITION PLAN, SHEET C-200".
 3. ROUGH GRADE SITE TO SUB-BASE ELEVATIONS FOR SIDEWALKS AND KNEE WALLS AND RELOCATE EXISTING DEPRESSED/SUMPED AREA NORTH OF MAIN SIDEWALK AS SHOWN ON PLAN.
 4. MODIFY DRAIN PIPE FROM TRENCH DRAIN TO RELOCATED LOW POINT PER PLAN.
 5. LAYOUT AND INSTALL SUB-BASE MATERIAL AND FORM WORK FOR CONCRETE AND PAVEMENT SIDEWALK AND KNEE WALLS.
 6. POUR SIDEWALKS, KNEE WALLS AND LAY PAVERS, AND REMOVE FORM WORK, AS REQUIRED ONCE CONCRETE HAS CURED.
 7. INSTALL RAIN GARDEN, KNEE WALLS AND GRADE RAIN GARDEN RAIN.
 8. WHEN ALL CONSTRUCTION IS COMPLETE, FINISH GRADE RAIN GARDEN AREAS AND AROUND HARDSCAPE FEATURES AS INDICATED ON PLANS. STABILIZE ANY DISTURBED AREAS WITH SEED AND MULCH.
 9. INSTALL PROPOSED LANDSCAPING.
 10. WHEN ALL AREAS TRIBUTARY TO THE EXISTING INLETS HAVE BEEN STABILIZED, THE INLET PROTECTION AND OTHER E&S CONTROLS MAY BE REMOVED.

SEQUENCE OF CONSTRUCTION - PAVILION:
 1. INSTALL THE ROCK STABILIZED CONSTRUCTION ENTRANCE AND THE INLET PROTECTION ALONG 17TH STREET AS SHOWN.
 2. DEMOLISH EXISTING SITE FEATURES NOTED TO BE REMOVED WITHIN THE AREA OF WORK AS NOTED ON "MODIFIED EXISTING CONDITIONS AND SITE DEMOLITION PLAN, SHEET C-200" WITH THE EXCEPTION OF EXISTING RAMP AT 17TH STREET (NEAR WINNET BUILDING) AND EXISTING RAMP/STAIRS/LANDING AT GYMNASIUM ENTRANCE.
 3. CONSTRUCT SIGN WALL/SEAT WALL NEAR WINNET BUILDING ADJACENT TO 17TH STREET.
 4. ROUGH GRADE SITE TO SUB-BASE ELEVATIONS FOR SIDEWALKS, CURB, SEAT WALLS, AND STAIRS.
 5. LAYOUT AND INSTALL SUB-BASE MATERIAL AND FORM WORK FOR CONCRETE AND PAVEMENT SIDEWALK, CONCRETE CURB, BELGIAN BLOCK BANDING, SEAT WALLS AND STAIRS.
 6. INSTALL ELECTRICAL WIRING AND POLE BENCHES. SEE PLAN FOR DETAILS.
 7. CONSTRUCT SEAT WALLS WITH THE EXCEPTION FOR THE SEAT WALL WITH PLANTER NEAR THE EXISTING HANDICAP RAMP AT ENTRANCE TO WINNET BUILDING. THIS SEAT WALL WITH PLANTER SHALL BE INSTALLED AFTER THE FINAL SURFACE GRADE HAS BEEN ESTABLISHED AROUND THE CIRCULAR PAVEMENT AREA LOCATED JUST NORTH OF THE SEAT WALL AND ADJACENT TO THE EXISTING HANDICAP RAMP.
 8. POUR SIDEWALKS AND LAY PAVERS. CONSTRUCT STAIRS. REMOVE FORM WORK, AS REQUIRED ONCE CONCRETE HAS CURED.
 9. REMOVE TEMPORARY BITUMINOUS PATHWAY AND EXISTING RAMPS/ STAIRWAYS MAINTAINED FOR TEMPORARY ACCESS ALONG BITUMINOUS PATHWAY AFTER FINAL SURFACE GRADE FOR PERMANENT PAVING ALONG PEDESTRIAN ACCESS BETWEEN ACCESS DOORWAYS FOR THE PAVILION, GYMNASIUM, AND WINNET BUILDINGS (ALL FINAL GRADES TO BE ADA COMPLIANT).
 10. WHEN ALL CONSTRUCTION IS COMPLETE, BRING LANDSCAPE AREAS TO FINISH GRADE AROUND HARDSCAPE FEATURES AS INDICATED ON PLANS. STABILIZE ANY DISTURBED AREAS WITH SEED AND MULCH.
 11. INSTALL PROPOSED LANDSCAPING. SEE PLAN L-100 FOR DETAILS.
 12. WHEN ALL AREAS TRIBUTARY TO THE EXISTING AND PROPOSED INLETS HAVE BEEN STABILIZED, THE INLET PROTECTION AND OTHER E&S CONTROLS MAY BE REMOVED.

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES:
 102.2(a) THIS CHAPTER REQUIRES PERSONS PROPOSING OR CONDUCTING EARTH DISTURBANCE ACTIVITIES TO DEVELOP, IMPLEMENT AND MAINTAIN BMPs TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENTATION.
 102.4(b)(3) THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED BY A PERSON TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL METHODS AND TECHNIQUES, AND SHALL BE DESIGNED TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENTATION.
 1. VEHICLES AND EQUIPMENT MUST ENTER SITE DIRECTLY TO AND EXIT DIRECTLY FROM 17TH STREET. E&S/SPM P168
 2. STOCKPILE HEIGHTS MUST NOT EXCEED 30 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER. E&S/SPM P168
 3. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
 4. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE SCHEDULED WATER DEPARTMENT (PWD) INSPECTIONS WITHIN THE PROJECT SITE. INSPECTIONS SHALL BE PERFORMED IMMEDIATELY UPON DISCOVERING UNPREDICTED CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION.
 5. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E & S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE PHD AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP).
 6. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY PHD AND PA DEP, AND IS BEING IMPLEMENTED FOR ALL SOIL AND/OR ROCK SPILL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
 7. THE FORMING OF STABILIZED WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREA.
 8. THE OPERATOR SHALL BE THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 6A EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C. PROTECTION OF NONPOINT SOURCE POLLUTION, CHAPTER 102. EROSION CONTROL.
 9. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

102.4(b)(5)(x) "THE EXISTING TOPOGRAPHIC FEATURES OF THE PROJECT SITE AND THE IMMEDIATE SURROUNDING AREA."
 1. THE E & S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL, NOT A NOTE.)
 102.4(b)(5)(vi) "A SEQUENCE OF BMP INSTALLATION AND REMOVAL IN RELATION TO THE SCHEDULING OF EARTH DISTURBANCE ACTIVITIES, PRIOR TO, DURING, AND AFTER EARTH DISTURBANCE ACTIVITIES."
 102.4(a) "EARTH DISTURBANCE ACTIVITIES SHALL BE PLANNED AND CONDUCTED TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE."
 102.22(a) "UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OF PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION."
 2. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SITE TO CONSTRUCT THE PROPOSED E&S CONTROL E&S/SPM P168
 3. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVOKE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES. THE LANDOWNER, ALL APPROVED CONTRACTORS, AN ON-SITE MEETING SHALL BE HELD. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES MUST BE PROVIDED WITH THE PERMITS/PA ONE CALL SYSTEM INCORPORATED AT THE PROJECT SITE.
 4. ALL DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE THE FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
 OTHER BMPs (INLET FILTER BAGS)
 1. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
 TEMPORARY STABILIZATION & PERMANENT STABILIZATION
 6. HAY OR STRAW MULCH MUST BE APPLIED AT 2 TONS PER ACRE.
 7. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
 8. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

102.4(b)(5)(x) "A MAINTENANCE PROGRAM WHICH PROVIDES FOR INSPECTION OF BMPs ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RAIN EVENT, INCLUDING THE REPAIR OF THE BMPs TO ENSURE EFFECTIVE AND EPIDIC OPERATION."
 1. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS AND AFTER ALL PRECIPITATION EVENTS. INSPECTION AND MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY UPON DISCOVERING UNPREDICTED CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION.
 102.4(b)(5)(vi) "PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH THIS TITLE."
 11. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ. 2711 ET SEQ. AND 2871 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.



SEDIMENT FILTER BAG FOR PUMPED WATER
 NOT TO SCALE
 NOTES:
 1. ALL MATERIAL TO MEET FILTERBAG SPECIFICATIONS.
 2. SBT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. CONCRETE SOXX™ TO BE CONSTRUCTED ON SITE AS DETERMINED BY ENGINEER.
 4. SBT SOXX™ TO BE FLUSH WITH PAVEMENT AND FACE OF CURB WITHIN THE AREA OF INLET.

NOTE:
 CONSTRUCTION CAN NOT PROCEED ON PAVILION SIDE PRIOR TO RECEIVING PERMIT FROM PHILADELPHIA STREETS DEPARTMENT FOR PROPOSED IMPROVEMENTS TO 17TH STREET.

PROVIDE TEMPORARY BITUMINOUS WALKWAY, 45' WIDTH, TO EXISTING DOORWAYS AT PAVILION AND GYMNASIUM. MAINTAIN EXISTING RAMPS/ PAVING ADJACENT TO DOORWAYS UNTIL NECESSARY TO REMOVE FOR NEW CONSTRUCTION. INSTALL TEMPORARY CHAINLINK FENCING AROUND TEMPORARY SIDEWALKS TO PROTECT PEDESTRIANS FROM CONSTRUCTION ACTIVITIES.

TOPSOIL SOCKPILE AREA - SIDE SLOPE 2:1 OR FLATTER

RELOCATED SUMPED/ DEPRESSED AREA

EXISTING TREES TO REMAIN IN EXISTING LOCATION, (TYP. 5)

EXISTING TREES TO REMAIN, (TYP. 4)

EXISTING TREES TO REMAIN, (TYP. 4)

EXISTING TREES TO REMAIN, (TYP. 4)

EXISTING TREES TO REMAIN, (TYP. 4)

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EXISTING TREES TO REMAIN, (TYP. 4)

CONTRACTOR TO MINIMIZE ANY EXCAVATION WITHIN THE AREA OF THE EXISTING VAULT/TUNNEL AND DUCT TO 17TH STREET

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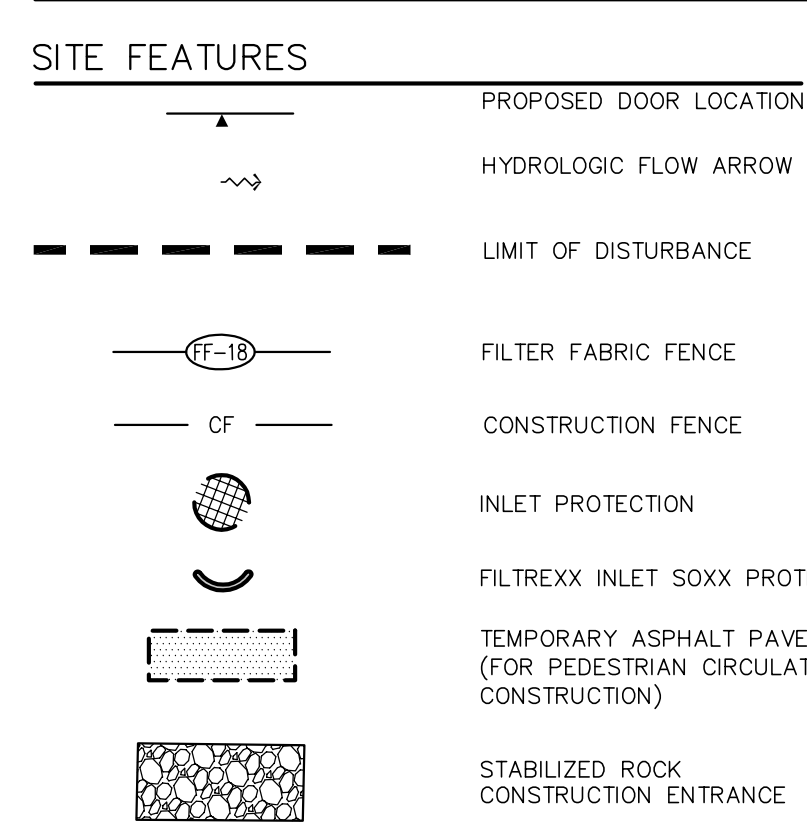
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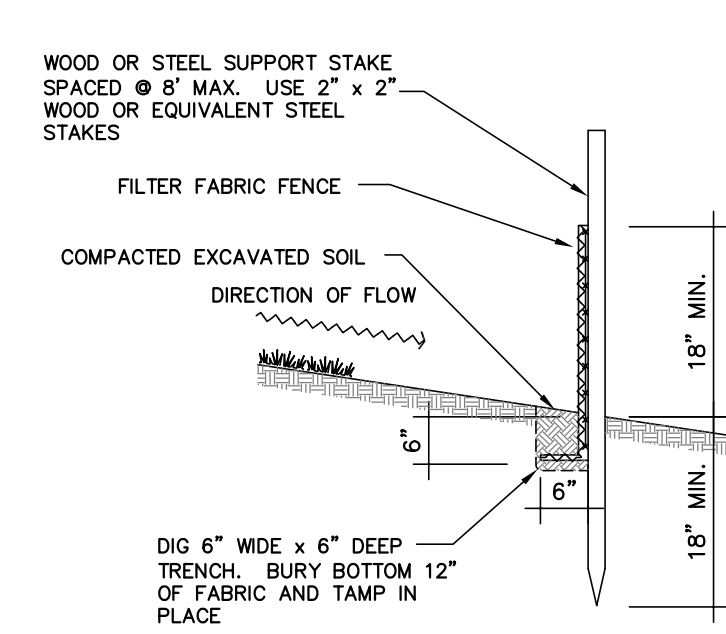
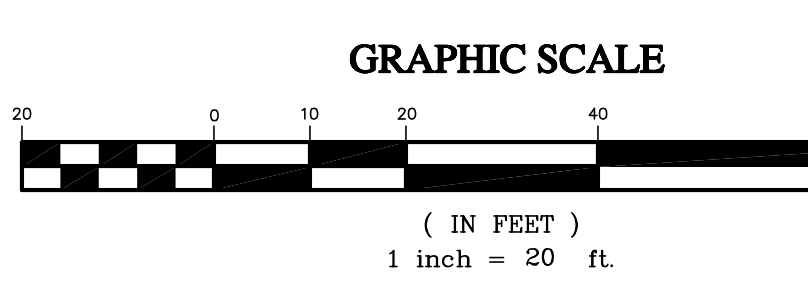
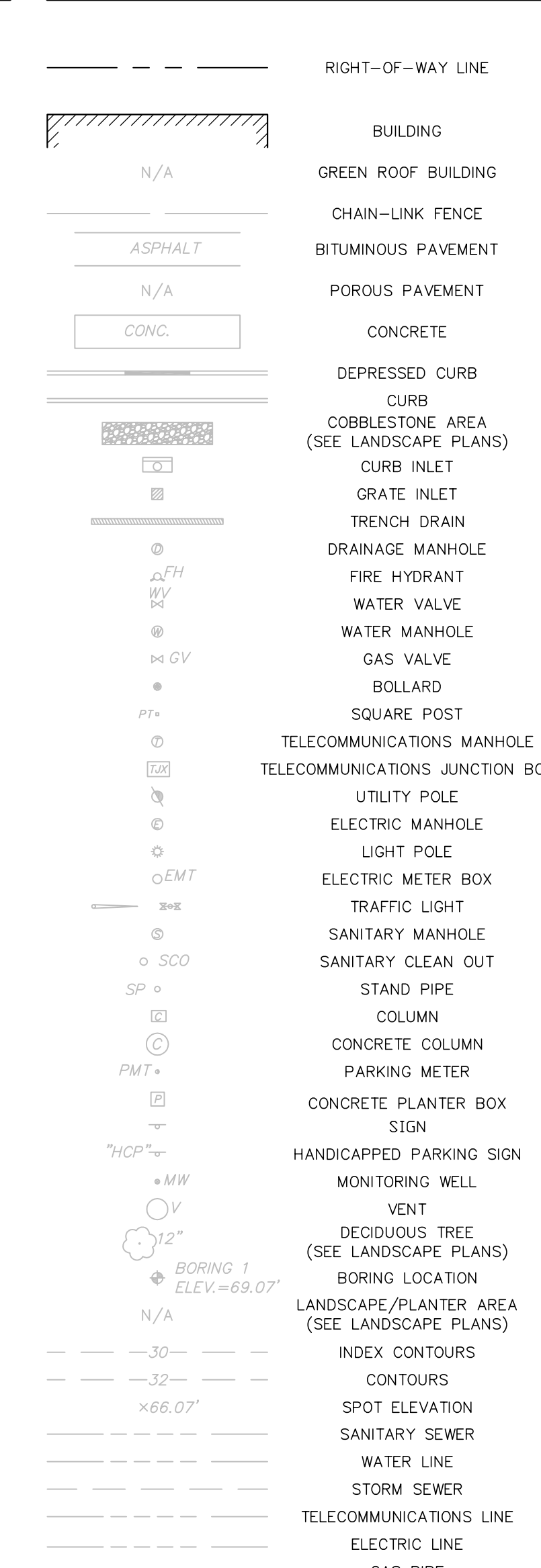
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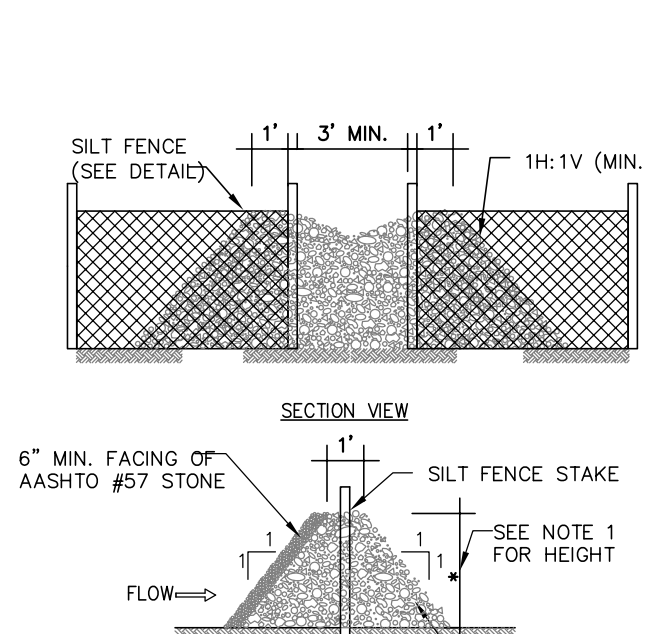
LEGEND - PROPOSED FEATURES



LEGEND - EXISTING FEATURES



FILTER FABRIC FENCE
 NOT TO SCALE



ROCK FILTER OUTLET
 NOT TO SCALE

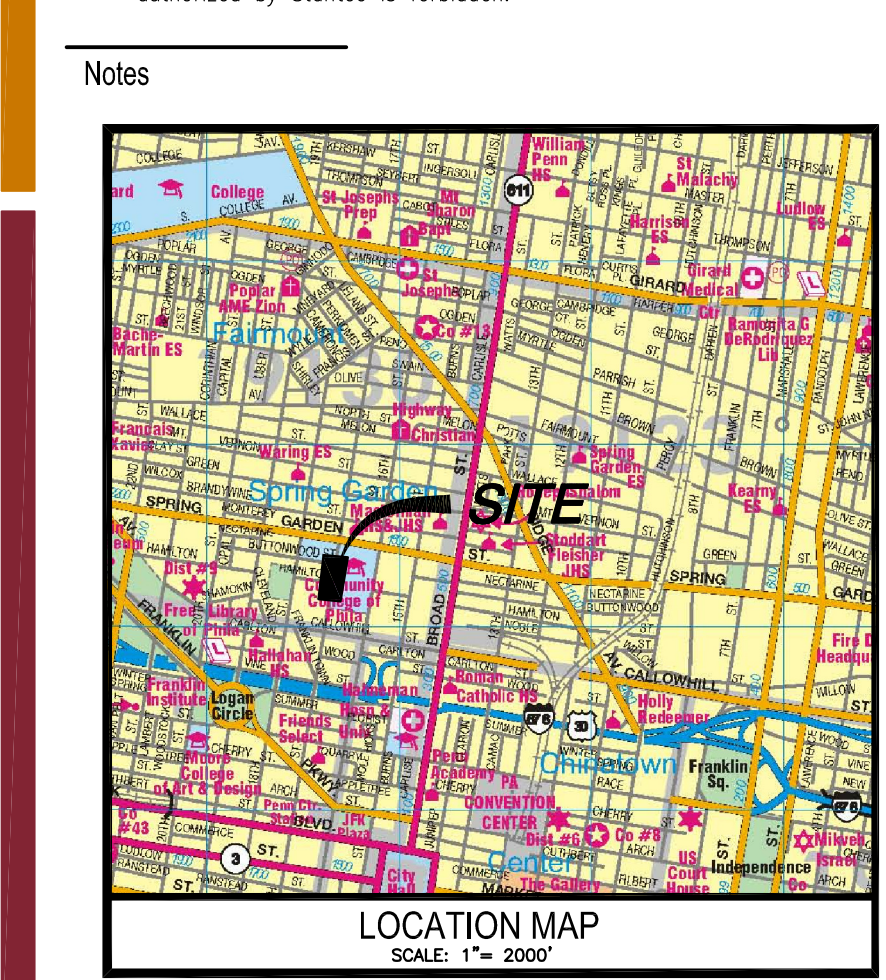
NOTES:
 1. HEIGHT OF ROCK FILTER = 5/6 HEIGHT OF ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED WITH PA D.E.P. REQUIREMENTS.
 2. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION (EXCEPT TO TEN (10) WORKING DAYS FOR DESIGN STAGE). UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE ONE CALL SERIAL NO. 2995492, 2995498, 2995507, 20121790546, 20121790547. Pennsylvania One Call System, Inc. 1-800-242-1776
 UTILITY NOTE
 THE LOCATION OF UNDERGROUND UTILITIES AND FIELD LOCATION OF VENTS, VALVES, MANHOLES, INLETS, ETC. PROVIDED BY HUNT ENGINEERING. THE EXTENT, EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES HAS NOT BEEN INDEPENDENTLY VERIFIED BY STANTEC. THE OWNER, OR ITS REPRESENTATIVE, THE CONTRACTOR SHALL DETERMINE THE EXTENT AND EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT No.287. UTILITY COMPANIES HAVE ASSIGNED SERIAL #'S 2995492, 2995498, 2995507, TO THIS LOCATION BY HUNT ENGINEERING & SERIAL #'S 20121790546, 20121790547 BY STANTEC CONSULTING SERVICES INC.



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GENERAL NOTES:
 1. ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "CIVIL EXISTING CONDITIONS - 1 AND 2" DATED JUNE 12, 2009. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRIC VAULT AND OIL TANK WHICH ARE SITUATED WITHIN THE BONNELL PLAZA ANEX. THE INFORMATION IS REFERENCED FROM PLAN TITLED "GROUND FLOOR PLAN SOUTH" BY THE KLING PARTNERSHIP DATED NOVEMBER 30, 1979 AND "DETAILS & DIAGRAMS SOUTH WEST" BY THE KLING PARTNERSHIP DATED NOVEMBER 30, 1979 AND LAST REVISED SEPTEMBER 1, 1982.
 2. BENCHMARK IS CALLED OUT BY THE HUNT ENGINEERING PLANS NOTED ABOVE AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET. THE BENCHMARK IS A 1\"/>

NOTES:
 1. CONTRACTOR TO PERFORM ALL WORK IN ACCORDANCE WITH THE NEPES PERMIT AND EROSION & SEDIMENTATION CONTROL PLANS PREVIOUSLY APPROVED FOR THIS PROJECT. FOR CONSTRUCTION OF THE FINAL HARDSCAPE/ROSEWORK AREAS ADJACENT TO THE BONNELL BUILDING & PAVILION, IT IS ANTICIPATED THAT CONSTRUCTION VEHICLE TRAFFIC WILL BE LIMITED TO SMALLER LIGHT DUTY VEHICLES. SINCE THESE AREAS ARE LOWER THAN THE ELEVATION OF THE PUBLIC SIDEWALK ALONG 17TH STREET, THE INSTALLATION OF A ROCK CONSTRUCTION ENTRANCE WILL NOT BE NEEDED. INSTEAD, THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN A VEHICULAR WASH-DOWN AREA FOR CONSTRUCTION EQUIPMENT LEAVING THE SITE.

ISSUED	DATE	BY	APP'D	REVISION
7	ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6	CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
5	CONSTRUCTION SET	CPN	MJC	13.10.18
4	ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
3	SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
2	SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1	SUBMISSION TO DEP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
	ISSUED	By	App'd	YY.MM.DD

FILE NAME	DATE	BY	APP'D	REVISION
File Name: 177901252-c300.dwg	LBL	MJC	MJC	2013.02.04
	Desn.	Chkd.	Dgrn.	YY.MM.DD

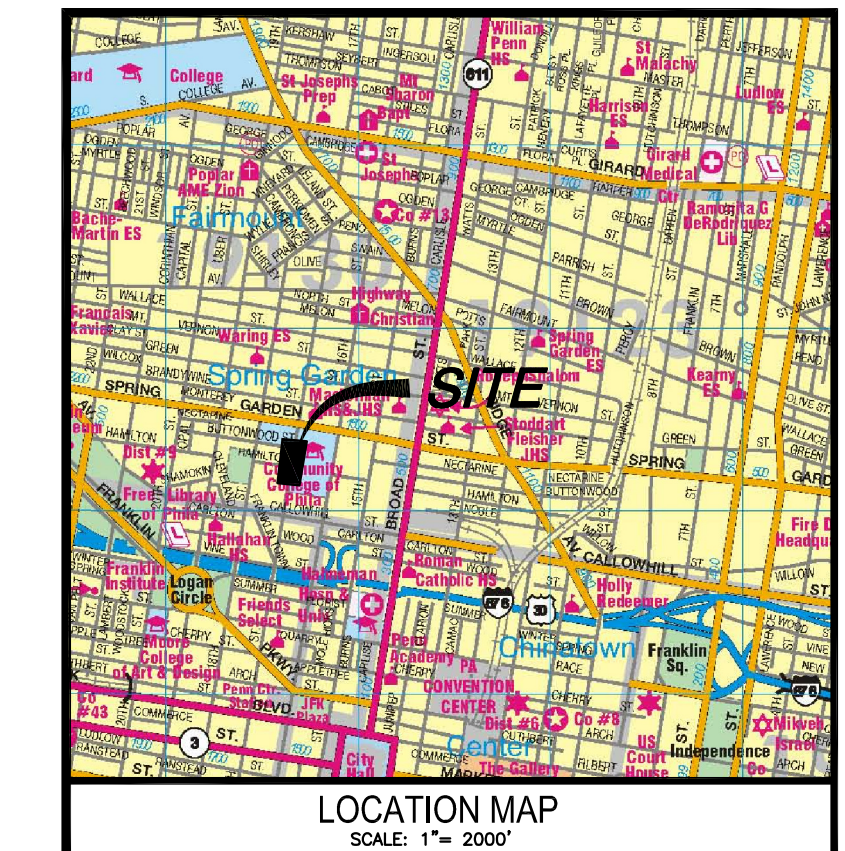
Client/Project
 COMMUNITY COLLEGE OF PHILADELPHIA
 PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
 Philadelphia, PA
 Title
 EROSION & SEDIMENT CONTROL PLAN
 Project No.
 177901252
 Scale
 1"=20'
 Drawing No.
 C300
 Sheet
 4 of 14
 Revision
 0



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Notes



- GENERAL NOTES:
- ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "CIVIL EXISTING CONDITIONS - 1" AND "CIVIL EXISTING CONDITIONS - 2" DATED JUNE 12, 2009. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRIC WALL AND OIL TANK WHICH ARE SITUATED WITHIN THE BONNELL PLAZA ANNEX. THE INFORMATION IS REFERENCED FROM PLAN TITLED "GROUND FLOOR PLAN SOUTH 10" BY THE KING PARTNERSHIP DATED NOVEMBER 20, 1979 AND "DETAILS & DIAGRAMS SOUTH WEST WEST" BY THE KING PARTNERSHIP DATED NOVEMBER 20, 1979 AND LAST REVISED SEPTEMBER 1, 1982. BENCHMARK IS CALLED OUT ON THE HUNT ENGINEERING PLANS NOTED ABOVE AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET. SURVEY CORNER OF INTERSECTION, EAST END OF WEST GRANITE STEP AT THE MAIN ENTRANCE TO LIBRARY, ELEVATION 68.28.
 - ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED DD.
 - SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 420753-01830, LAST REVISED JANUARY 17, 2007.
 - UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT-OF-WAY. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).
 - ALL PROPOSED UTILITY SERVICES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 187 AS AMENDED.
 - REFER TO PLAN TITLED "CIVIL EROSION AND SEDIMENT CONTROL PLAN" AND "CIVIL DETAILS - 2" DATED SEPTEMBER 23, 2009 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR NPDES APPLICATION.

NOTE: UNDERGROUND UTILITY INFORMATION DEPICTED ON PLANS IS TAKEN FROM SURVEY AND DESIGN PLANS PROVIDED BY HUNT ENGINEERING. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).

ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6 CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
5 CONSTRUCTION SET	CPN	MJC	13.10.18
4 ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
3 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
2 SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1 SUBMISSION TO CCP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	By	App'd	YY.MM.DD

File Name	177901252-c400.dwg	LBL	MJC	MJC	2013.02.04
		Dwn.	Chkd.	Dgtr.	YY.MM.DD

Permit-Seal

Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
SITE LAYOUT & MATERIALS PLAN

Project No.	Scale	
177901252	1"=10'	
Drawing No.	Sheet	Revision
C400	5 of 14	0

LEGEND

SITE FEATURES

- TRAFFIC SIGN
- COP DIRECTIONAL SIGN
- BE BENCH - EMBEDDED MOUNT
- BS BENCH - SURFACE MOUNT
- TABLE & 5 CHAIRS - SURFACE MOUNT
- TABLE & 6 CHAIRS - SURFACE MOUNT

SURFACE MATERIALS

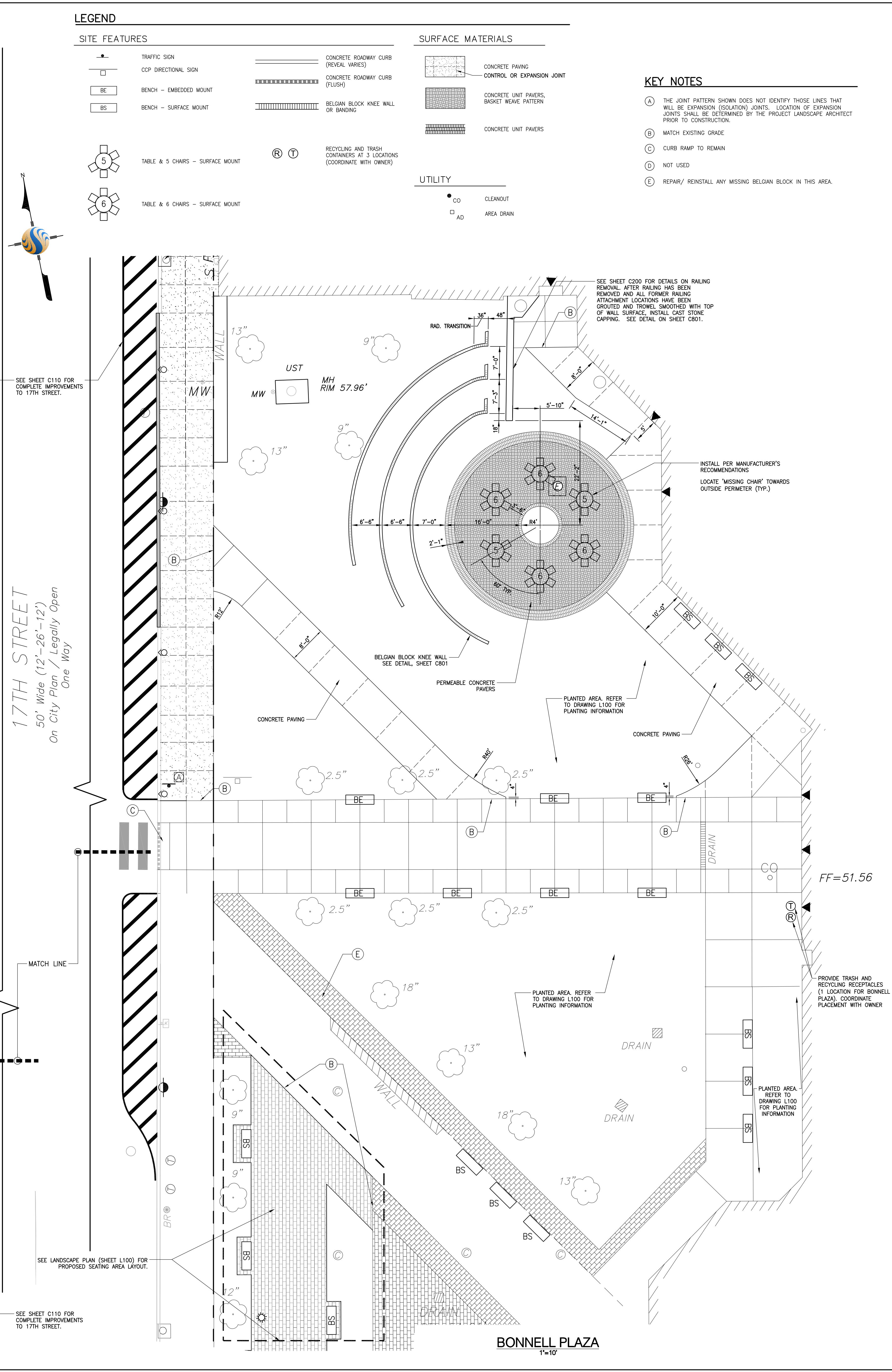
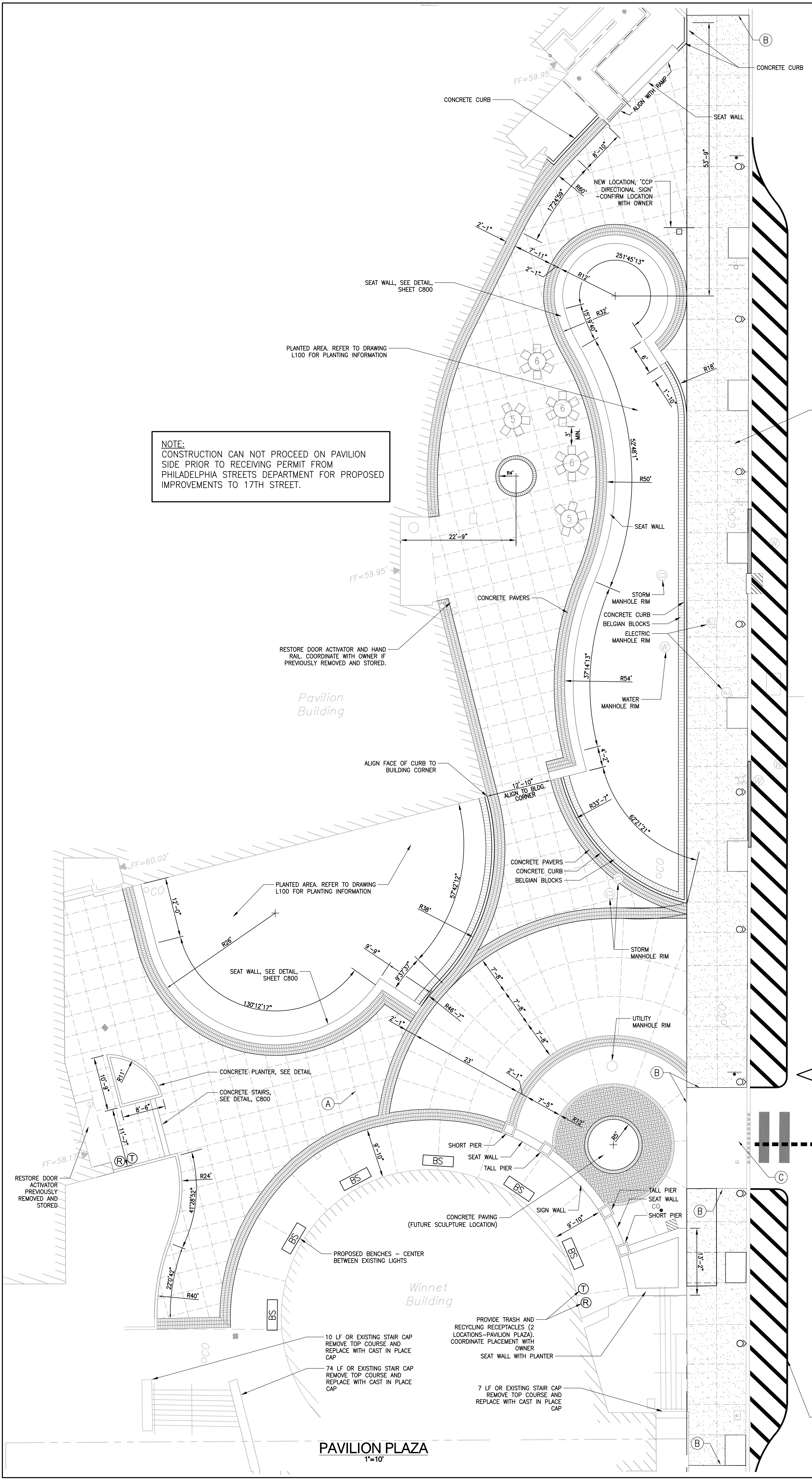
- CONCRETE ROADWAY CURB (REVEAL VARIES)
- CONCRETE ROADWAY CURB (FLUSH)
- BELGAN BLOCK KNEE WALL OR BANDING
- CONCRETE PAVING CONTROL OR EXPANSION JOINT
- CONCRETE UNIT PAVERS, BASKET WEAVE PATTERN
- CONCRETE UNIT PAVERS

UTILITY

- CLEANOUT
- AREA DRAIN

KEY NOTES

- A THE JOINT PATTERN SHOWN DOES NOT IDENTIFY THOSE LINES THAT WILL BE EXPANSION (ISOLATION) JOINTS. LOCATION OF EXPANSION JOINTS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- B MATCH EXISTING GRADE
- C CURB RAMP TO REMAIN
- D NOT USED
- E REPAIR/ REINSTALL ANY MISSING BELGAN BLOCK IN THIS AREA.

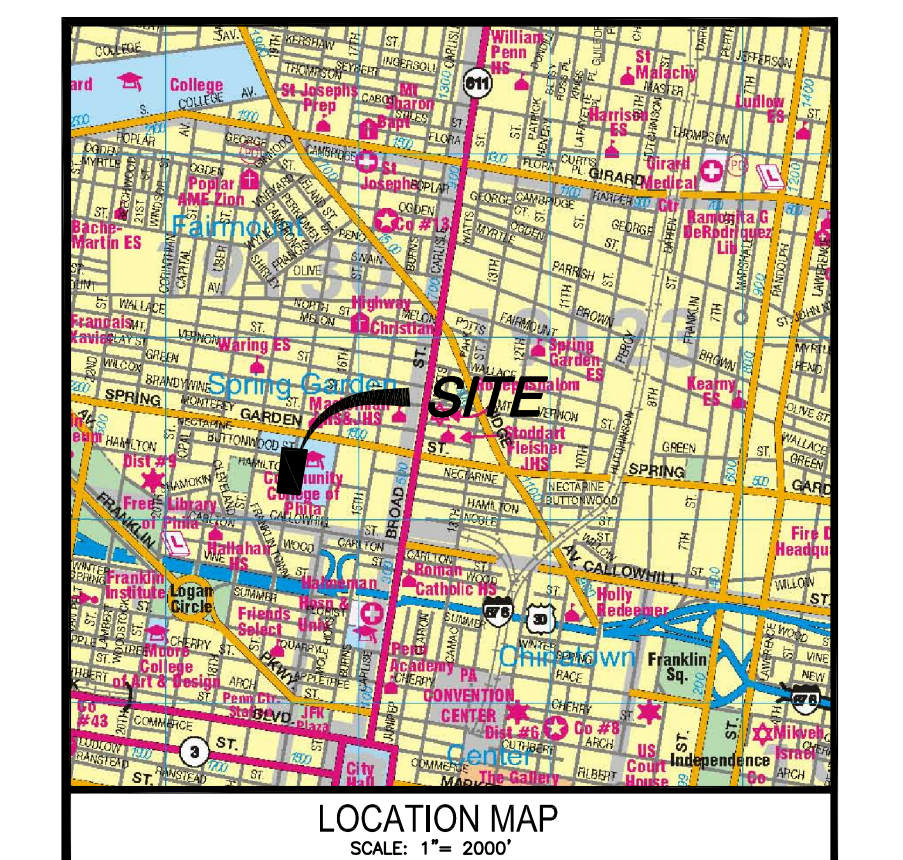




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Notes



- GRADING NOTES:**
- ALL MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH PENNSYLVANIA STANDARD SPECIFICATIONS UNLESS OTHERWISE INDICATED.
 - ALL SUBSURFACE STRUCTURE EXCAVATION SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE CONTRACT SPECIFICATIONS AND WITH OSHA 1926.651 SPECIAL EXCAVATION REQUIREMENTS.
 - TOPSOIL TO BE STOCKPILED ON-SITE SHALL BE AT THE DIRECTION OF THE OWNER. ALL STOCKPILED MATERIAL SHALL BE GRADED, COMPACTED AND STABILIZED WITH TOPSOIL SEEDING AND MULCHING.
 - AFTER COMPLETION OF THE ROUGH GRADING OPERATIONS, THE CONTRACTOR SHALL PROOF ROLL THE PAVEMENT AREA. SPOTS SHALL BE EXCAVATED AND STABILIZED UNDER THE SUPERVISION OF A SOILS ENGINEER.
 - THE CONTRACTOR SHALL EXCAVATE OLD WALLS, FOUNDATIONS AND LIKE UNDESIRABLE MAN-MADE OBSTRUCTIONS TO A LEVEL THREE (3) FEET BELOW DESIGN FINISH GRADE.
 - ALL OVERTOP AREAS SHALL BE BROUGHT BACK TO GRADE USING CRUSHED STONE OR SELECT BACKFILL MATERIAL.
 - CONTRACTOR SHALL ADJUST MANHOLE INLET GRATES, VALVE BOXES, VENTS, ETC. AS MAY BE REQUIRED TO MATCH THE DESIGNED FINISH GRADES.
 - CONTRACTOR SHALL CARRY OUT THE GRADING OPERATION IN SUCH A MANNER AS TO MINIMIZE SEDIMENTATION OF THE ADJACENT STREET SYSTEM. IT SHALL BE HIS RESPONSIBILITY TO IMPLEMENT AND MAINTAIN A SEDIMENTATION CONTROL PLAN FOR THE DURATION OF THE GRADING OPERATIONS.
 - AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION.

GENERAL NOTES:

- ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "CIVIL EXISTING CONDITIONS - 11 AND 12" DATED JUNE 12, 2009. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRIC, GAS AND OIL TANK WHICH ARE SITUATED WITHIN THE BONNELL PLAZA ANNEX. THE INFORMATION IS REFERENCED FROM PLAN TITLED "GROUND FLOOR PLAN SOUTH 'C'" BY THE KLING PARTNERSHIP DATED NOVEMBER 30, 1979 AND "DETAILS & DIAGRAMS SOUTH WEST WENT BY THE KLING PARTNERSHIP DATED NOVEMBER 30, 1979 AND LAST REVISED SEPTEMBER 1, 1982. BENCHMARK IS CALLED OUT ON THE HUNT ENGINEERING PLANS NOTED ABOVE AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET, SOUTHWEST CORNER OF INTERSECTION, EAST END OF LOWEST GRANITE STEP AT THE MAIN ENTRANCE TO LIBRARY, ELEVATION 68.28. ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED IDL.
- SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 42072-0183, LAST REVISED JANUARY 17, 2007.
- UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT OF WAY. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SUPERVISOR (HUNT ENGINEERING).
- ALL PROPOSED UTILITY SERVICES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 171 AS AMENDED.
- REFER TO PLAN TITLED "CIVIL EROSION AND SEDIMENT CONTROL PLAN" AND "CIVIL DETAILS - 2" DATED SEPTEMBER 23, 2009 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR NPDES APPLICATION.

ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6 CHILLED WATER MAINS PER 6/2/1989 PLAN	CPN	MJC	13.10.25
5 CONSTRUCTION SET	CPN	MJC	13.10.18
4 ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
3 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
2 SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1 SUBMISSION TO DEP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	By	Appd.	YY.MM.DD

File Name	177901252-c600_recover.dwg	LDL	MJC	LDL	2013.02.04
		Dwn.	Chkd.	Dgrn.	YY.MM.DD

Permit/Seal

Client/Project

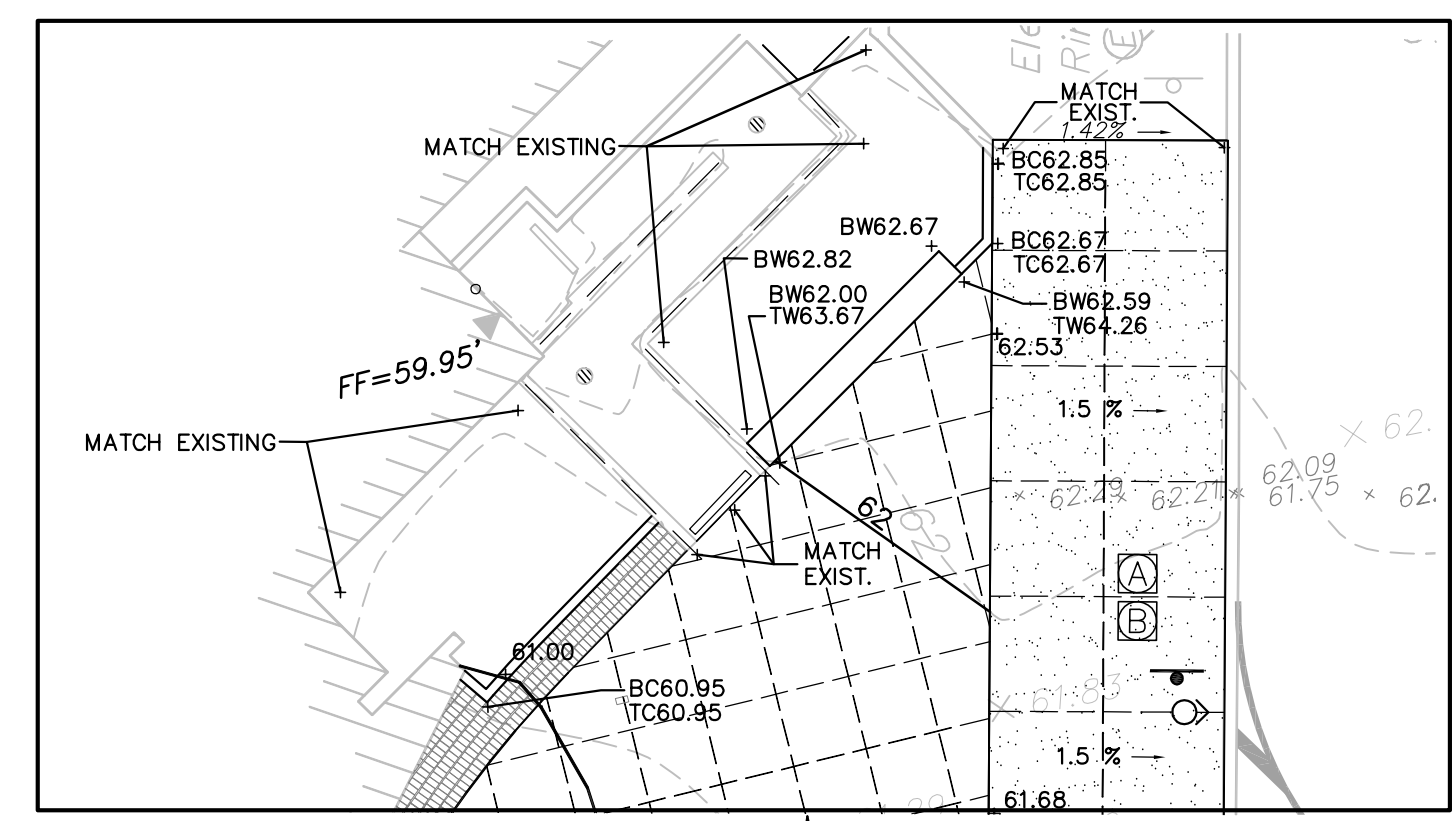
COMMUNITY COLLEGE OF PHILADELPHIA
 PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
 Philadelphia, PA

Title
 GRADING PLAN

Project No.	Scale	
177901252	1"=10'	
Drawing No.	Sheet	Revision
C600	6 of 14	0

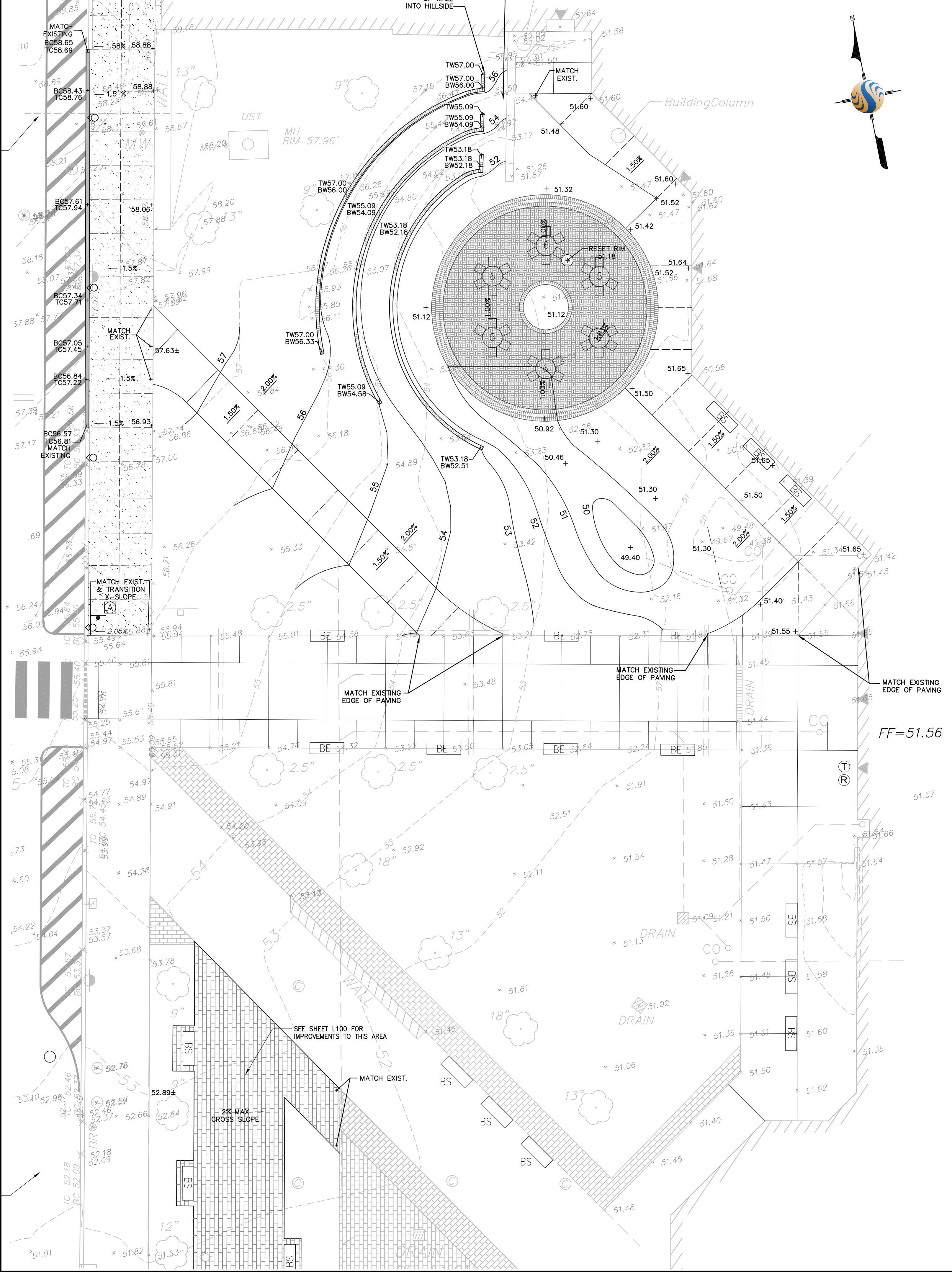
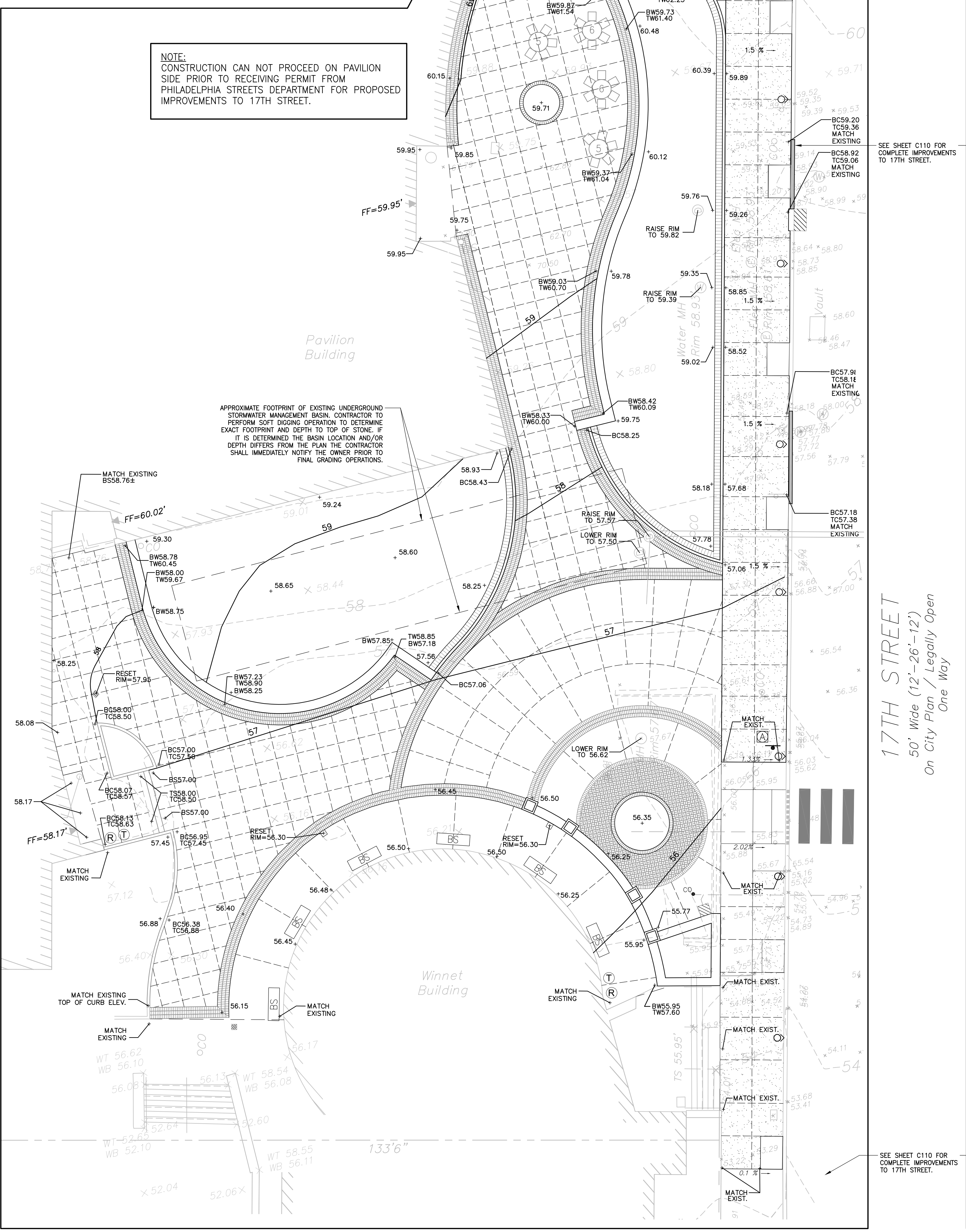
LEGEND - PROPOSED FEATURES

GRADING	SITE FEATURES	SURFACE MATERIALS	UTILITY
+ 301.95 TC301.46 CS301.04	TRAFFIC SIGN	CONCRETE PAVEMENT	FRESH AIR INLET
5.3	TREE GRATE	CONTROL OR EXPANSION JOINT	CLEANOUT
TS	CONCRETE ROADWAY CURB (REVEAL VARIES)	CONCRETE UNIT PAVERS	AD
BS	CONCRETE ROADWAY CURB (FLUSH)	CONCRETE UNIT PAVERS	D.I.P.
TC			V.I.F.
TG			WATER VALVE (CURB STOP)
TW			FLOW CONTROL OUTLET STRUCTURE
BW			
LP			
HP			
FC			
1.5%			



MATCH LINE

NOTE:
 CONSTRUCTION CAN NOT PROCEED ON PAVILION SIDE PRIOR TO RECEIVING PERMIT FROM PHILADELPHIA STREETS DEPARTMENT FOR PROPOSED IMPROVEMENTS TO 17TH STREET.



PAVILION PLAZA
 1"=10'

BONNELL PLAZA
 1"=10'

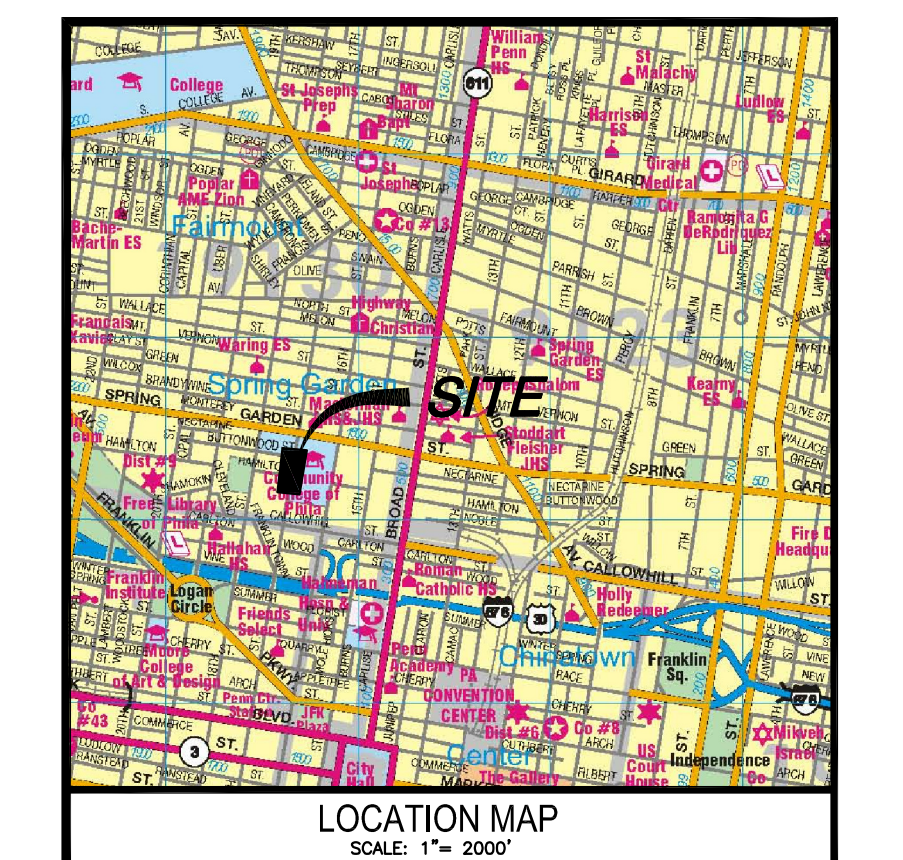
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Notes



UTILITY NOTES:

- PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF LICENSES & INSPECTIONS FOR ALL ON-SITE WATER AND DRAINAGE WORK.
- ROADWAY AND FOOTWAY RESTORATION TO BE IN STRICT ACCORDANCE WITH THE DEPARTMENT'S LATEST EDITION AND THEIR CONNECTIONS SHALL BE SUBJECT TO PERMITTING AND INSPECTION BY THE DEPARTMENT OF LICENSES & INSPECTIONS.
- ALL PRIVATE UTILITY WORK AND THEIR CONNECTIONS SHALL BE SUBJECT TO PERMITTING AND INSPECTION BY THE DEPARTMENT OF LICENSES & INSPECTIONS.
- THE THICKNESS OF THE EXISTING SEWERS ARE APPROXIMATE. THE ELEVATIONS OF THE EXISTING SEWERS AT THE TERMINATING CONNECTION POINTS OF THE PROPOSED WATER AND FIRE PROTECTION SYSTEMS TO THE PUBLIC MAINS ARE TO BE ACCOMPLISHED BY TRENCHING, BACKFILL AND RESTORATION TO BE THE CONTRACTOR'S RESPONSIBILITY.
- THE LOCATION OF UNDERGROUND UTILITIES IS TAKEN FROM PUBLIC RECORDS AND FIELD LOCATION OF VENTS, VALVES, MANHOLES, INLETS ETC. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT NO. 287, UTILITIES COMPANIES HAVE ASSIGNED SERIAL #295492, 295498, 295499, 2012190546, 2012190547.
- THE SURFACE AND UTILITY INFORMATION REPRESENTED ON THIS PLAN HAS BEEN GENERATED FROM FIELD-SURVEY AND ITS ACCURACY IS GUARANTEED WITH THE METERS USED TO OBTAIN THE DATA. THEREIN, WHILE CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS PLAN, THE INFORMATION CANNOT BE ELECTRONICALLY QUERIED TO OBTAIN ACCURATE DISTANCES BETWEEN DRAFTED ELEMENTS. STATED DIMENSIONS IN U.S. STANDARD MEASURE WILL PREVAIL OVER QUERIED INFORMATION. THE END-USER CAN CONTACT THIS OFFICE FOR VERIFICATION OF DATA NOT OTHERWISE DEPICTED OR DIMENSIONED ON THIS PLAN.

GENERAL NOTES:

- ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "CIVIL EXISTING CONDITIONS - PHILADELPHIA AND CIVIL EXISTING CONDITIONS - 2" DATED JUNE 12, 2009. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRIC VAULT AND OIL TANK WHICH ARE SITUATED WITHIN THE BONNELL PLAZA ANNEX. THE INFORMATION IS REFERENCED FROM PLAN STORED GROUND FLOOR PLAN SOUTH "C" BY THE KLING PARTNERSHIP DATED NOVEMBER 1979 AND "DETAILS & DIAGRAMS SOUTH WEST" WEST BY KLING PARTNERSHIP DATED NOVEMBER 30, 1979 AND LAST REVISED SEPTEMBER 1, 1982.
- BENCHMARK IS CALLED OUT ON THE HUNT ENGINEERING PLANS NOTED ABOVE AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET, SOUTHWEST CORNER OF INTERSECTION, EAST END OF LOWEST GRATE STEP AT THE MAIN ENTRANCE TO LIBRARY. ELEVATION 68.28.
- ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED, PROPERTY IS ZONED R2.
- SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA, SUBJECT PREMISES IS AN AREA "C" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 420757-0183G, LAST REVISED JANUARY 12, 2002.
- UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT OF WAY. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING RECORDS DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SUPERVISOR (ENGINEERING).
- ALL PROPOSED UTILITY SERVICES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 187 AS AMENDED.
- REFER TO PLAN TITLED "CIVIL EROSION AND SEDIMENT CONTROL PLAN" AND "CIVIL DETAILS - 1" DATED SEPTEMBER 23, 2009 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR THIS APPLICATION.

DRAINAGE NOTES:

- ALL STORMWATER STRUCTURES (PIPES, AREA DRAINS, BEEHIVE DRAINS, TRENCH DRAINS, BEHIND ETC.) SHALL CONFORM TO SPECIFICATIONS IN ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE PHILADELPHIA CODE.
- AREA DRAINS, BEEHIVE DRAINS, AND TRENCH DRAINS TO BE TO BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, WHICH REFERENCE THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF PHILADELPHIA WATER DEPARTMENT.

POST-CONSTRUCTION STORMWATER MAINTENANCE SCHEDULE:

- INLETS AND DRAINAGE FIXTURES ARE TO BE MAINTAINED BY THE PHILADELPHIA WATER DEPARTMENT AND THE PHILADELPHIA STREETS DEPARTMENT AS PER THEIR TYPICAL MAINTENANCE SCHEDULE.

Issued	By	App'd	YY.MM.DD
7 ISSUED FOR CONSTRUCTION	CPN	MJC	13.10.24
6 CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
5 CONSTRUCTION SET	CPN	MJC	13.10.18
4 ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
3 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
2 SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1 SUBMISSION TO DEP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10

File Name:	177901252-c700.dwg	Desn.	Chkd.	Dgtr.	YY.MM.DD
Permit/Seal					

Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
UTILITY PLAN

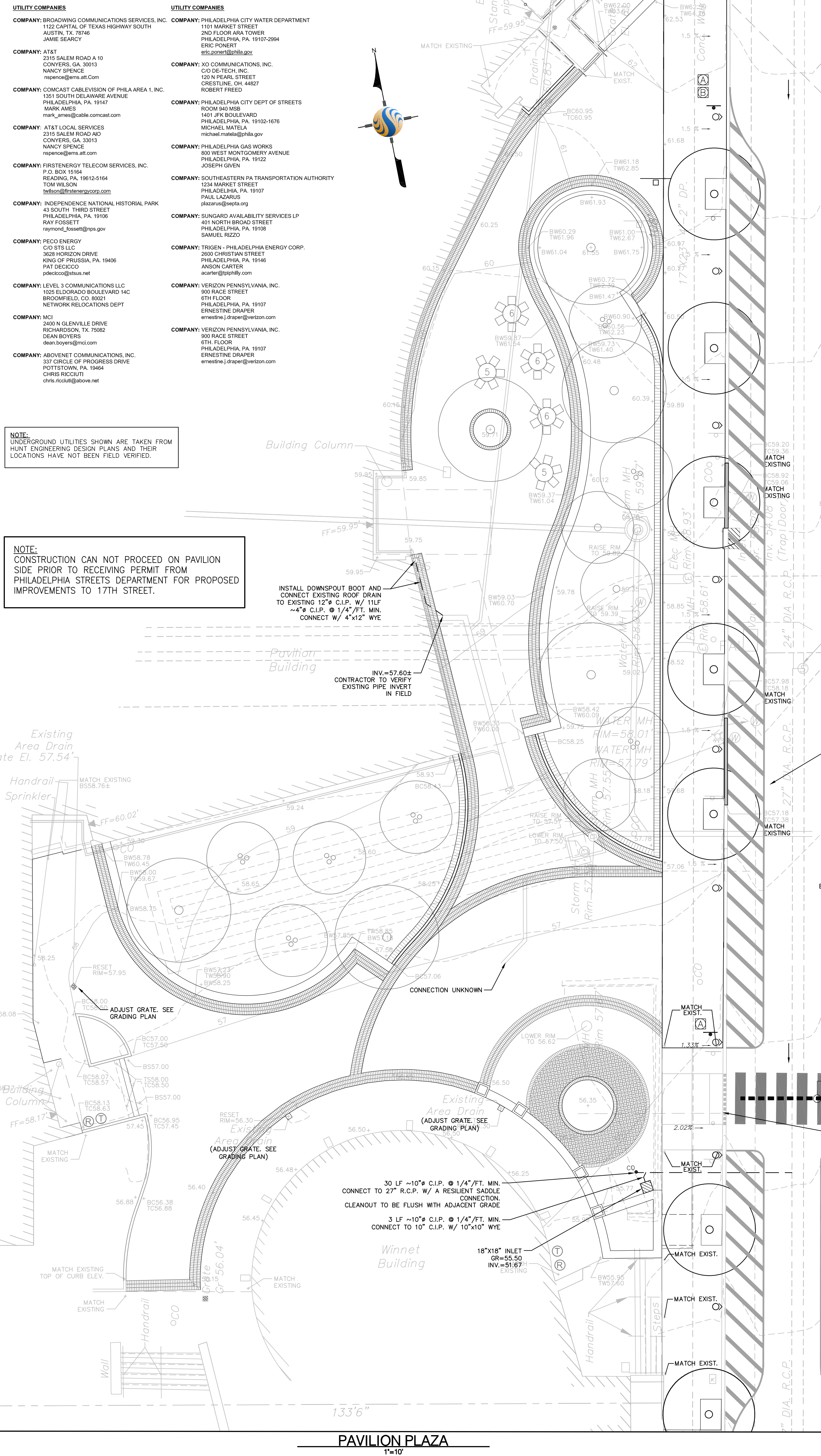
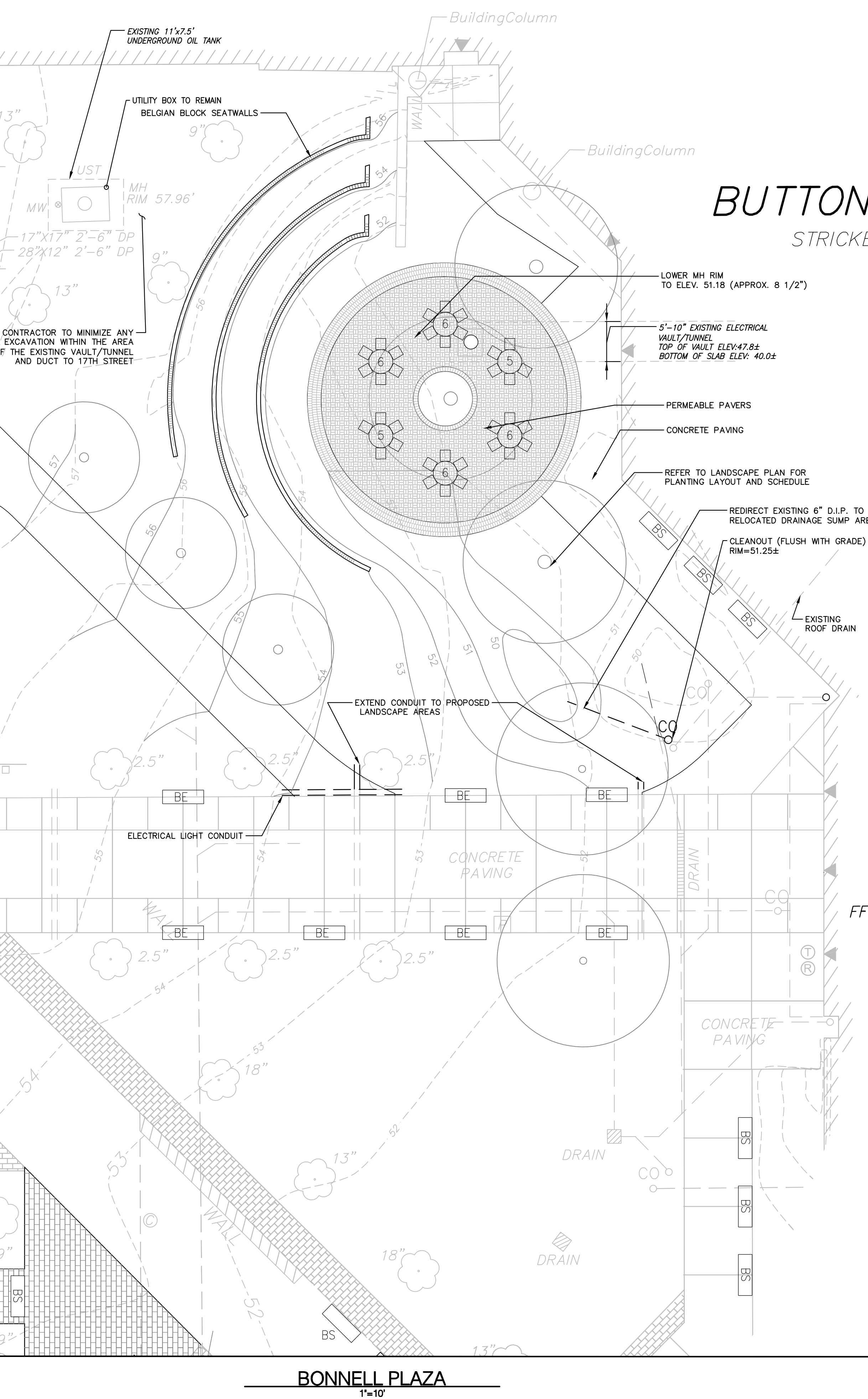
Project No. 177901252 Scale 1"=10'
Drawing No. Sheet Revision

C700 7 of 14 0

LEGEND - PROPOSED FEATURES

GRADING		SITE FEATURES		UTILITY	
301.95	PROPOSED SPOT ELEVATION	TRAFFIC SIGN		D.I.P.	DUCTILE IRON PIPE
TC301.46	PROPOSED TOP OF CURB AND GUTTER ELEVATION	TREE GRATE		V.I.F.	VERIFY IN FIELD
53	PROPOSED TOPOGRAPHIC CONTOUR ELEVATION	CONCRETE ROADWAY CURB (REVEAL VARIES)			
TS	TOP STEP	STREET LIGHT			
BS	BOTTOM STEP	TREE			
TC	TOP OF CURB OF CURB				
G	BOTTOM OF CURB (GUTTER) ELEVATION				
TW	TOP OF WALL ELEVATION				
BW	BOTTOM OF WALL ELEVATION				
LP	LOW POINT				
HP	HIGH POINT				
	CONCRETE ROADWAY CURB (FLUSH)				

INLET
GR=58.76'



- UTILITY COMPANIES**
- COMPANY: BROADCASTING COMMUNICATIONS SERVICES, INC. 1122 CAPITAL OF TEXAS HIGHWAY SOUTH AUSTIN, TX 77746 JAMIE SEARCY
 - COMPANY: AT&T 2315 SALEM ROAD A 10 CONYERS, GA 30013 NANCY SPENCE nspence@ems.att.com
 - COMPANY: COMCAST CABLEVISION OF PHILA AREA 1, INC. 1381 SOUTH DELAWARE AVENUE PHILADELPHIA, PA 19147 MARK AMES mark_ames@able.comcast.com
 - COMPANY: AT&T LOCAL SERVICES 2315 SALEM ROAD A 10 CONYERS, GA 30013 NANCY SPENCE nspence@ems.att.com
 - COMPANY: FIRSTENERGY TELECOM SERVICES, INC. P.O. BOX 15164 READING, PA 19612-5164 TOM WILSON twilson@firstenergycorp.com
 - COMPANY: INDEPENDENCE NATIONAL HISTORICAL PARK 43 SOUTH THIRD STREET PHILADELPHIA, PA 19106 RAY FOSSETT rayfossett@nps.gov
 - COMPANY: PECO ENERGY C/O STILLC 3028 HORIZON DRIVE KING OF PRUSSIA, PA 19406 PAT DECCO pat.decco@stus.net
 - COMPANY: LEVEL 3 COMMUNICATIONS LLC 1025 ELORADO BOULEVARD MC BRIDGFIELD, CO 80021 NETWORK RELOCATIONS DEPT NCI
 - COMPANY: MCI 2400 N GLENVILLE DRIVE RICHARDSON, TX 75062 DEAN BOYERS dean_boyers@mci.com
 - COMPANY: ABOVENET COMMUNICATIONS, INC. 337 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 CHRIS RICCAU chris.riccau@abovenet.net
- UTILITY COMPANIES**
- COMPANY: PHILADELPHIA CITY WATER DEPARTMENT 1101 MARKET STREET 2ND FLOOR AREA TOWER PHILADELPHIA, PA 19107-2994 ERIC FOWNETT eric.fownett@pcwa.gov
 - COMPANY: XO COMMUNICATIONS, INC. 120 N PEARL STREET CRESTLING, OH 44827 ROBERT FREED
 - COMPANY: PHILADELPHIA CITY DEPT OF STREETS ROOM 940 MSB 1401 FIFTH BOULEVARD PHILADELPHIA, PA 19102-1676 MICHAEL MATELA michael.matela@pcwa.gov
 - COMPANY: PHILADELPHIA GAS WORKS 800 WEST MONTGOMERY AVENUE PHILADELPHIA, PA 19122 JOSEPH GIVEN
 - COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY 1254 MARKET STREET PHILADELPHIA, PA 19107 PAUL LACORUS placorus@septa.org
 - COMPANY: SUNGARD AVAILABILITY SERVICES LP 401 NORTH BROAD STREET PHILADELPHIA, PA 19108 SAMUEL RIZZO
 - COMPANY: TRIGUN PHILADELPHIA ENERGY CORP. 1600 CHRISTIAN STREET PHILADELPHIA, PA 19146 ANSON CARTER acarter@trigun.com
 - COMPANY: VERIZON PENNSYLVANIA, INC. 6TH FLOOR PHILADELPHIA, PA 19107 ERNESTINE DRAPER ernestine.j.draper@verizon.com
 - COMPANY: VERIZON PENNSYLVANIA, INC. 6TH FLOOR PHILADELPHIA, PA 19107 ERNESTINE DRAPER ernestine.j.draper@verizon.com

NOTE: UNDERGROUND UTILITIES SHOWN ARE TAKEN FROM HUNT ENGINEERING DESIGN PLANS AND THEIR LOCATIONS HAVE NOT BEEN FIELD VERIFIED.

NOTE: CONSTRUCTION CAN NOT PROCEED ON PAVILION SIDE PRIOR TO RECEIVING PERMIT FROM PHILADELPHIA STREETS DEPARTMENT FOR PROPOSED IMPROVEMENTS TO 17TH STREET.

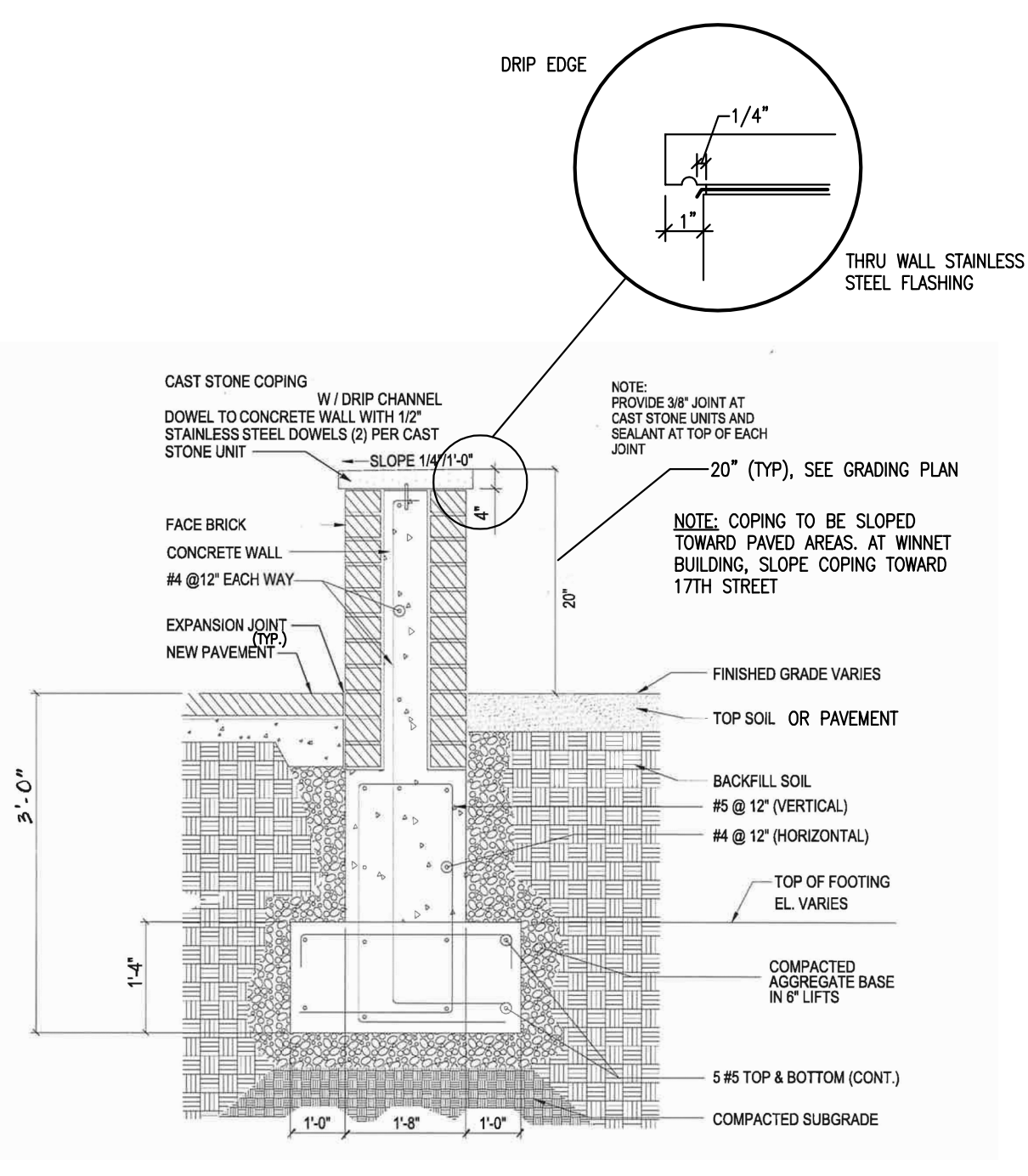
INSTALL DOWNSPOUT BOOT AND CONNECT EXISTING ROOF DRAIN TO EXISTING 12" C.I.P. W/ 1/4" MIN. CONNECT W/ 4"x12" WVE

CONTRACTOR TO VERIFY EXISTING PIPE, INVERT IN FIELD

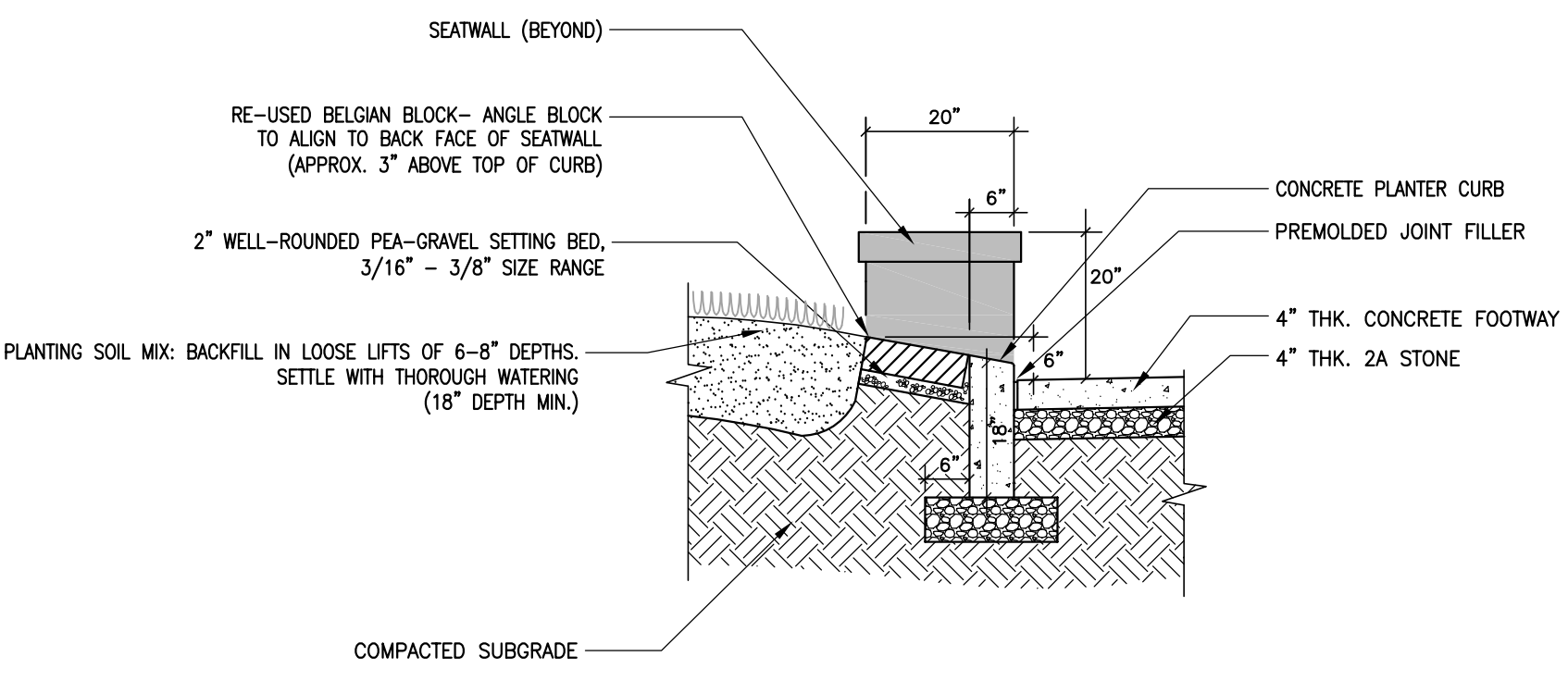
17TH STREET
50' Wide (12'-26"-12')
On City Plan / Legally Open
One Way

PAVILION PLAZA
1"=10'

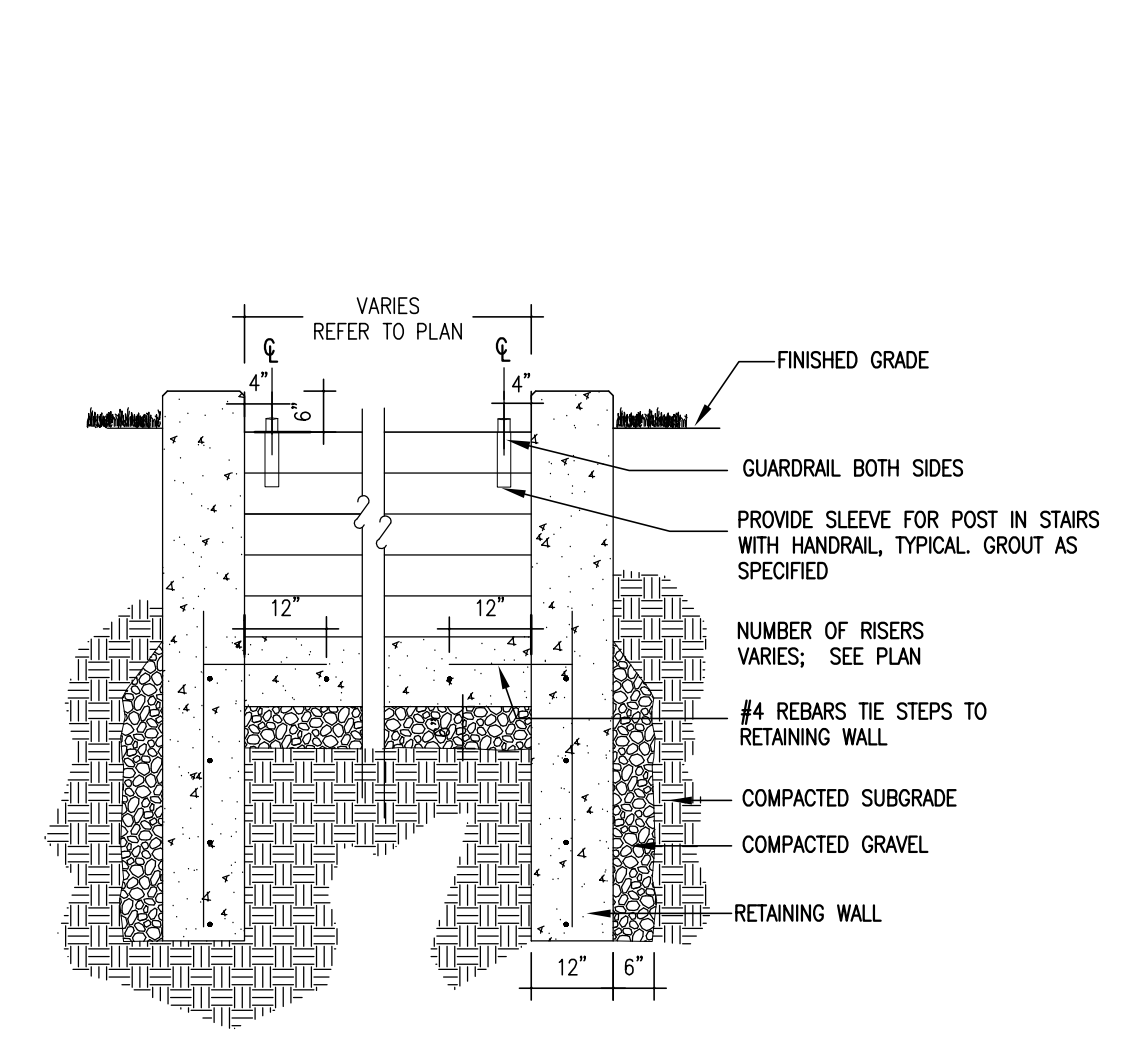
BONNELL PLAZA
1"=10'



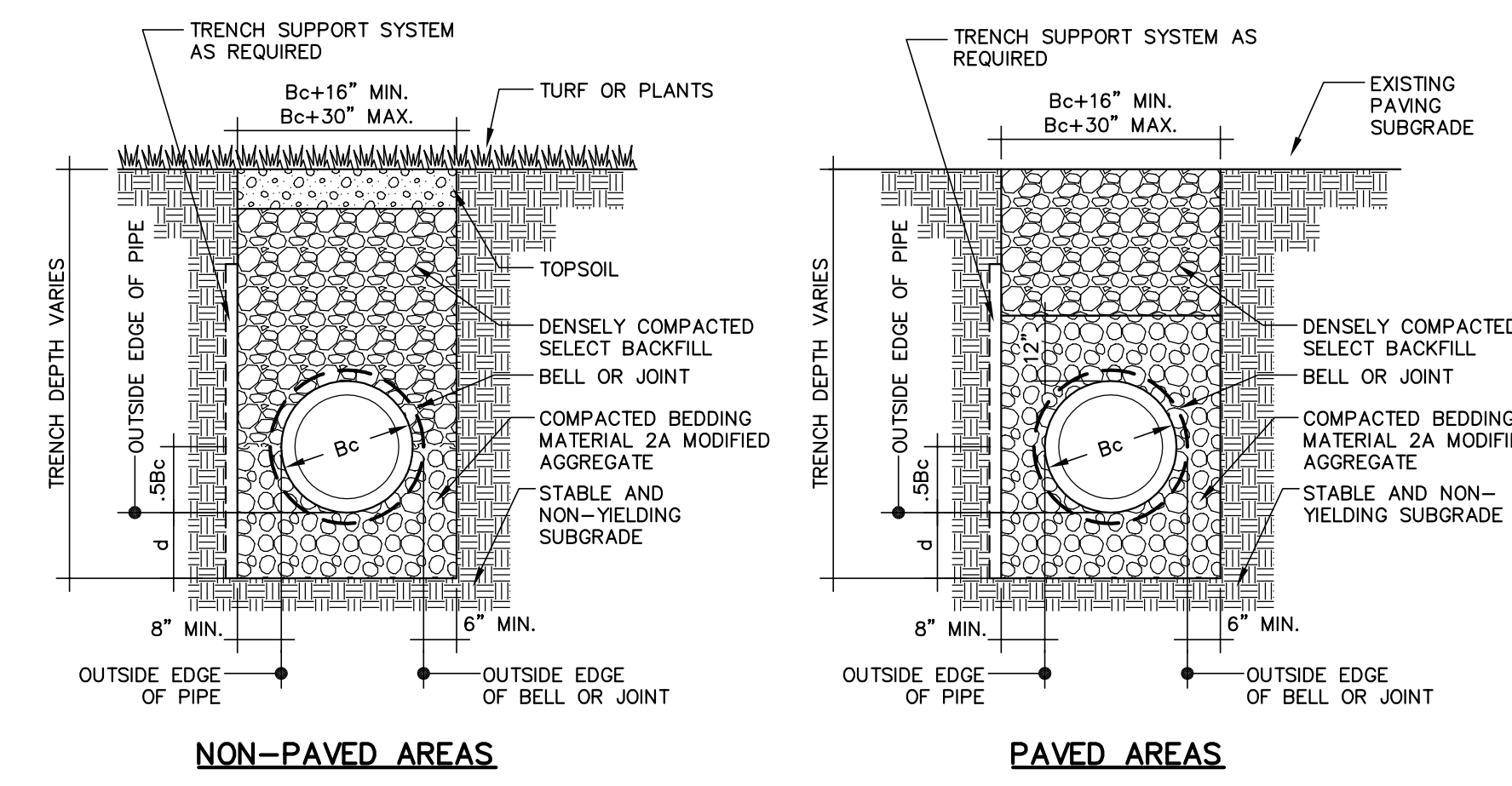
TYPICAL SEAT WALL AT PAVILION PLAZA
NOT TO SCALE



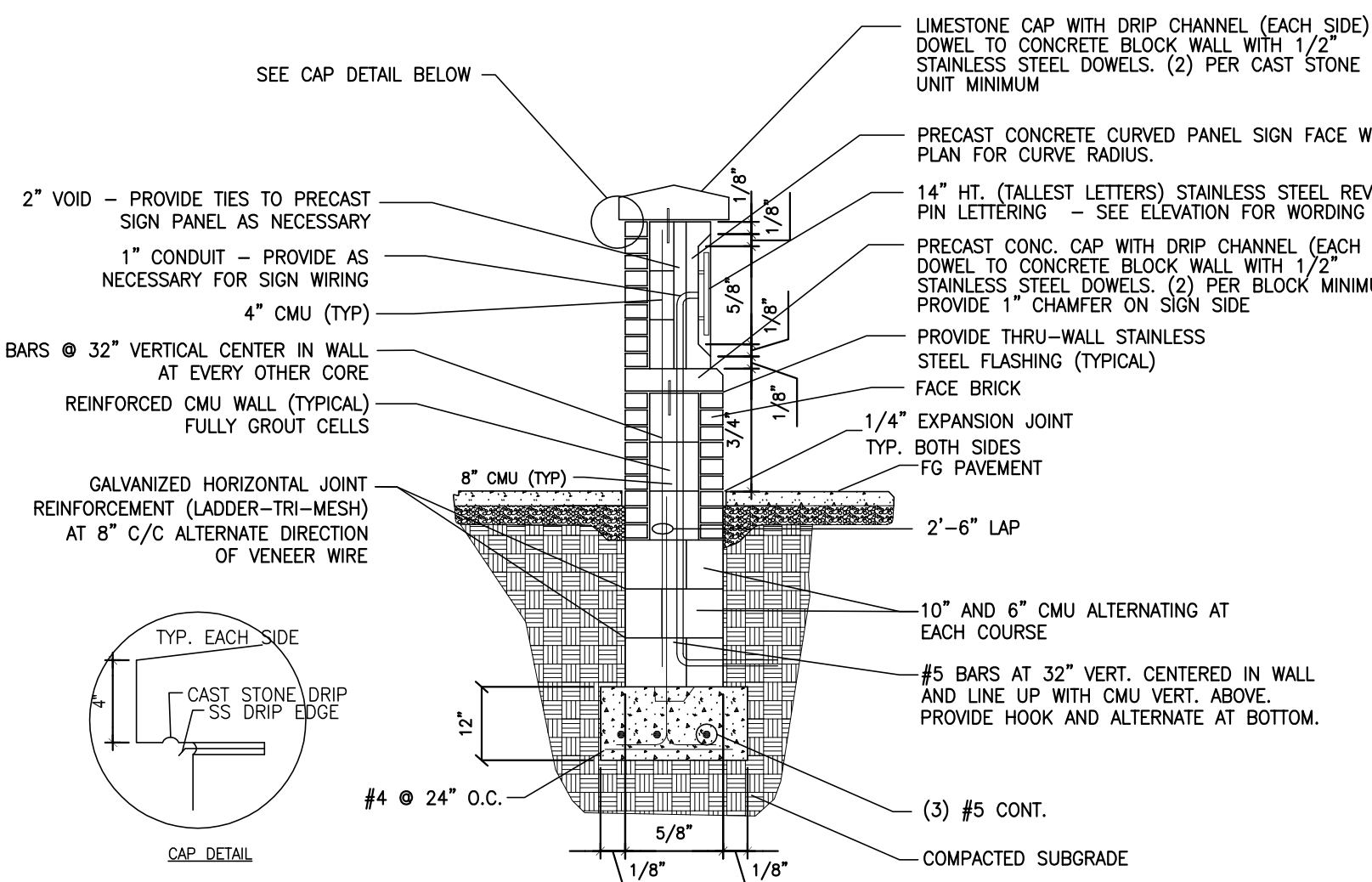
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NOT TO SCALE



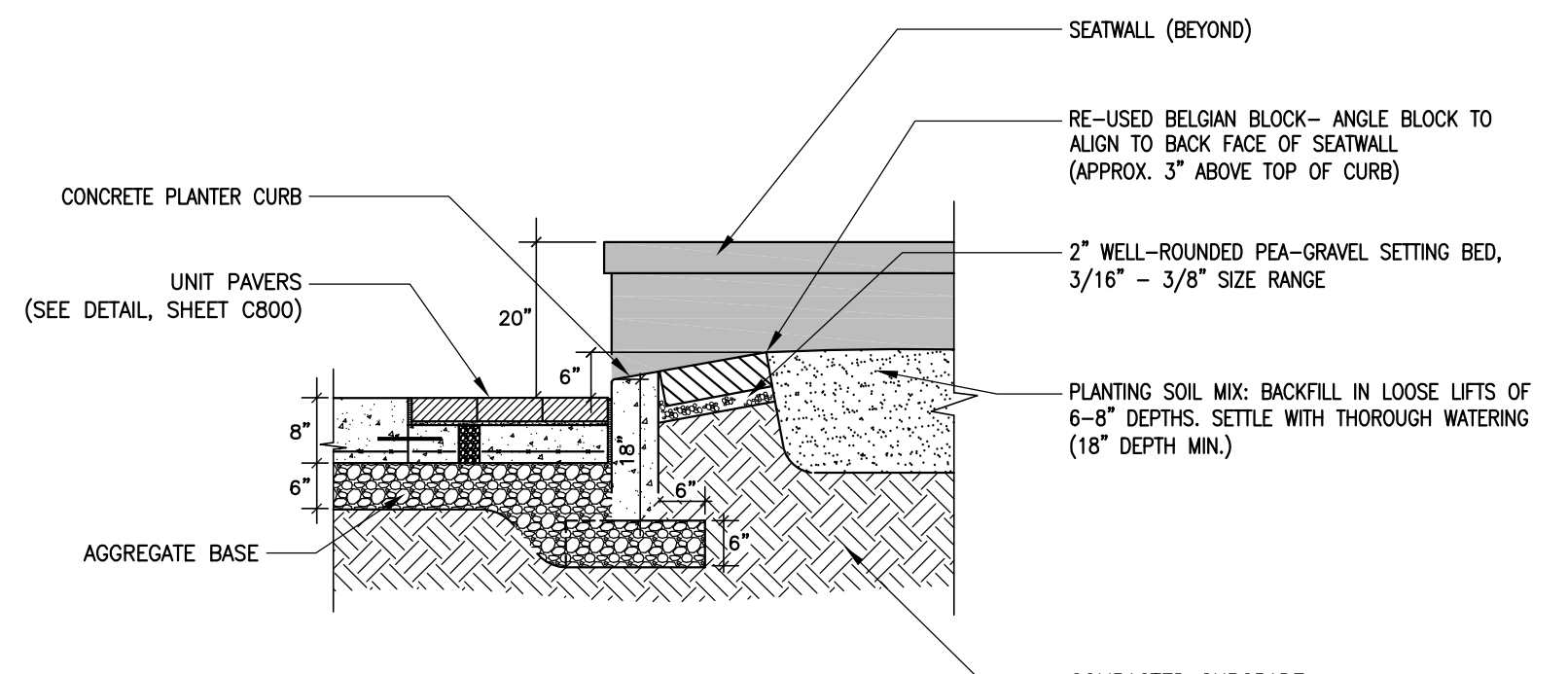
CONCRETE STEPS/CHEEK WALL AT PAVILION PLAZA
NOT TO SCALE



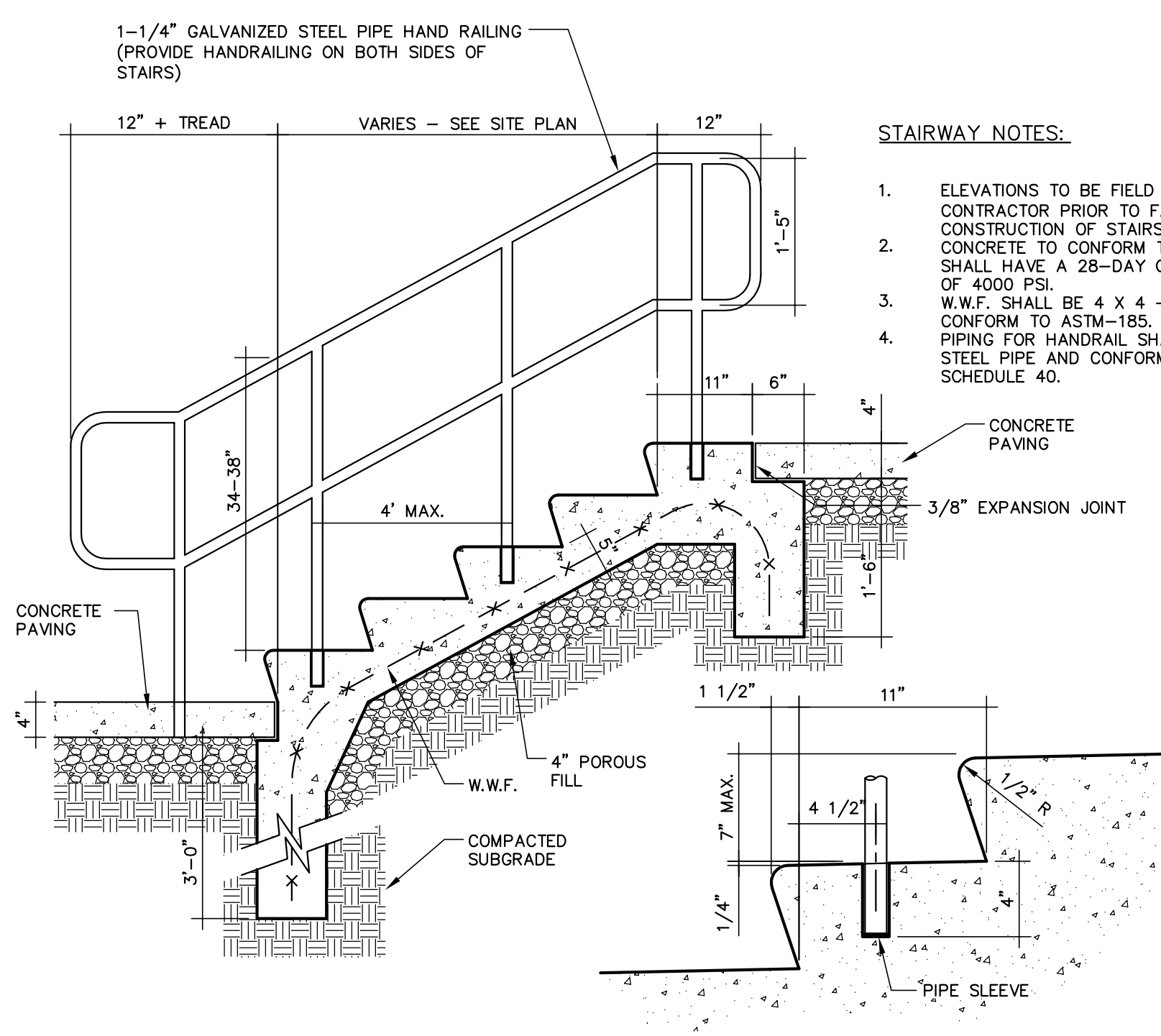
TYPICAL TRENCH AND PIPE BEDDING
NOT TO SCALE



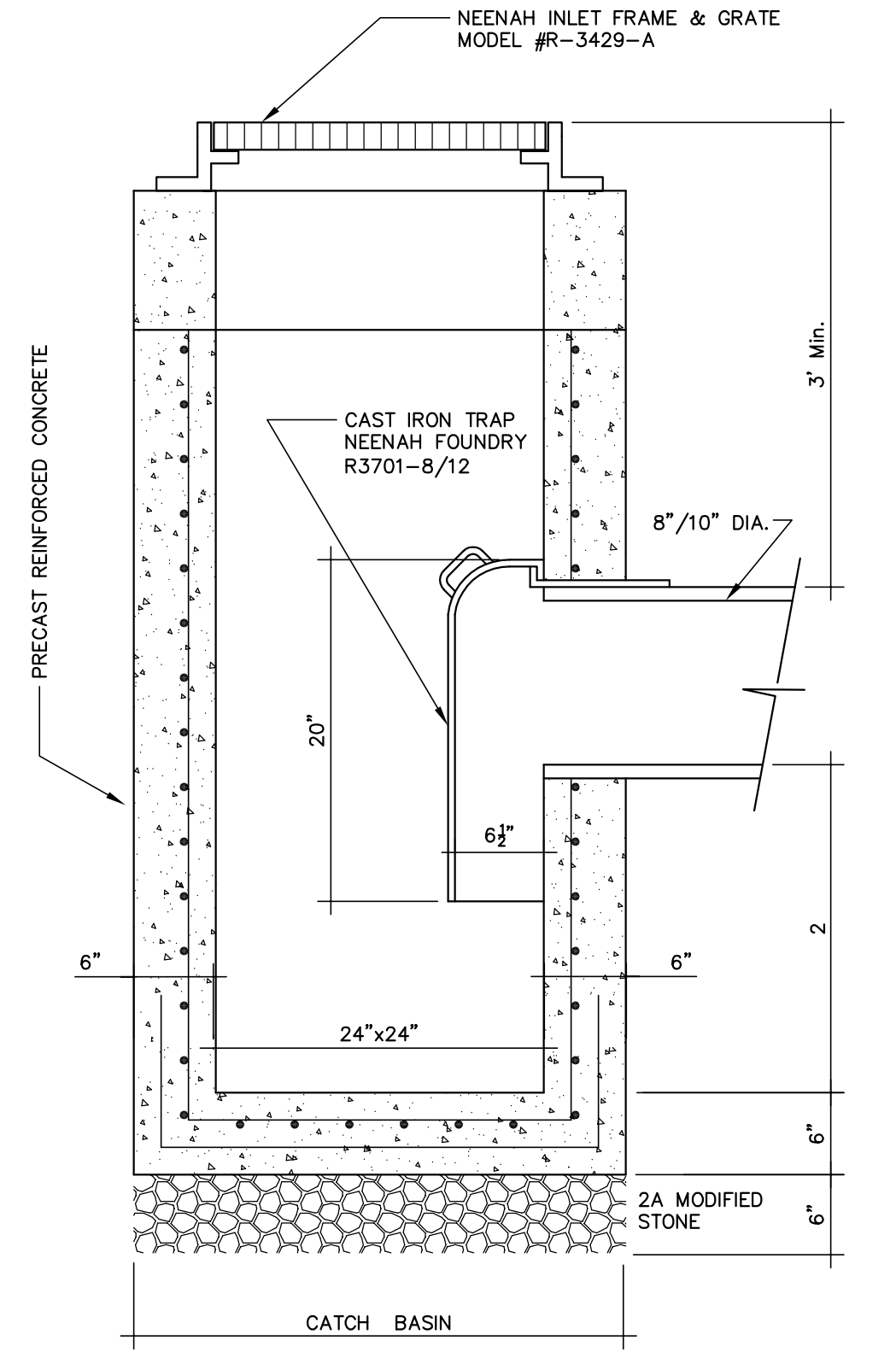
SIGN WALL AT PAVILION PLAZA
NOT TO SCALE



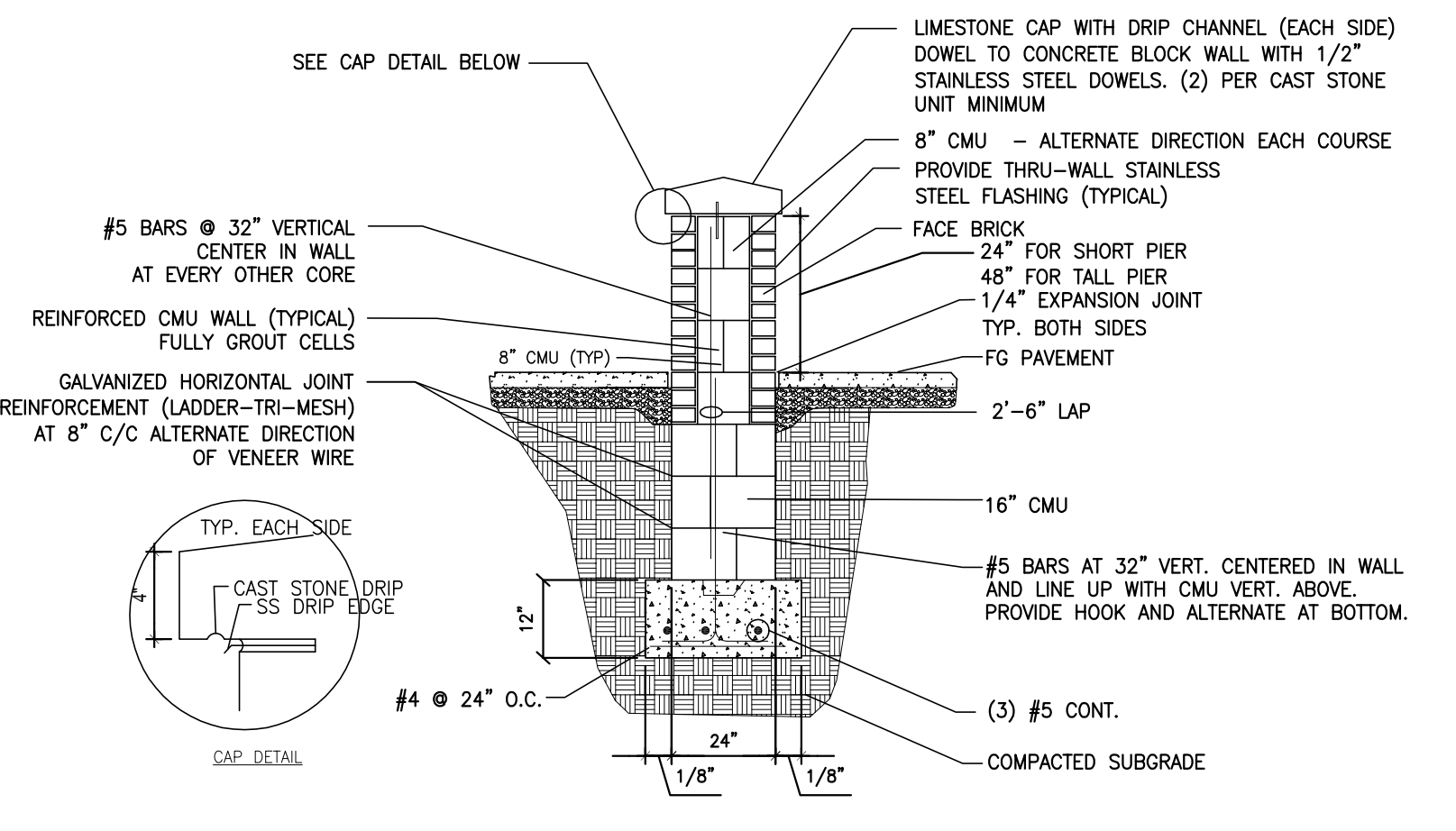
CONCRETE PAVERS/ CURB/ BELGIAN BLOCK AT SEATWALL - PAVILION PLAZA
NOT TO SCALE



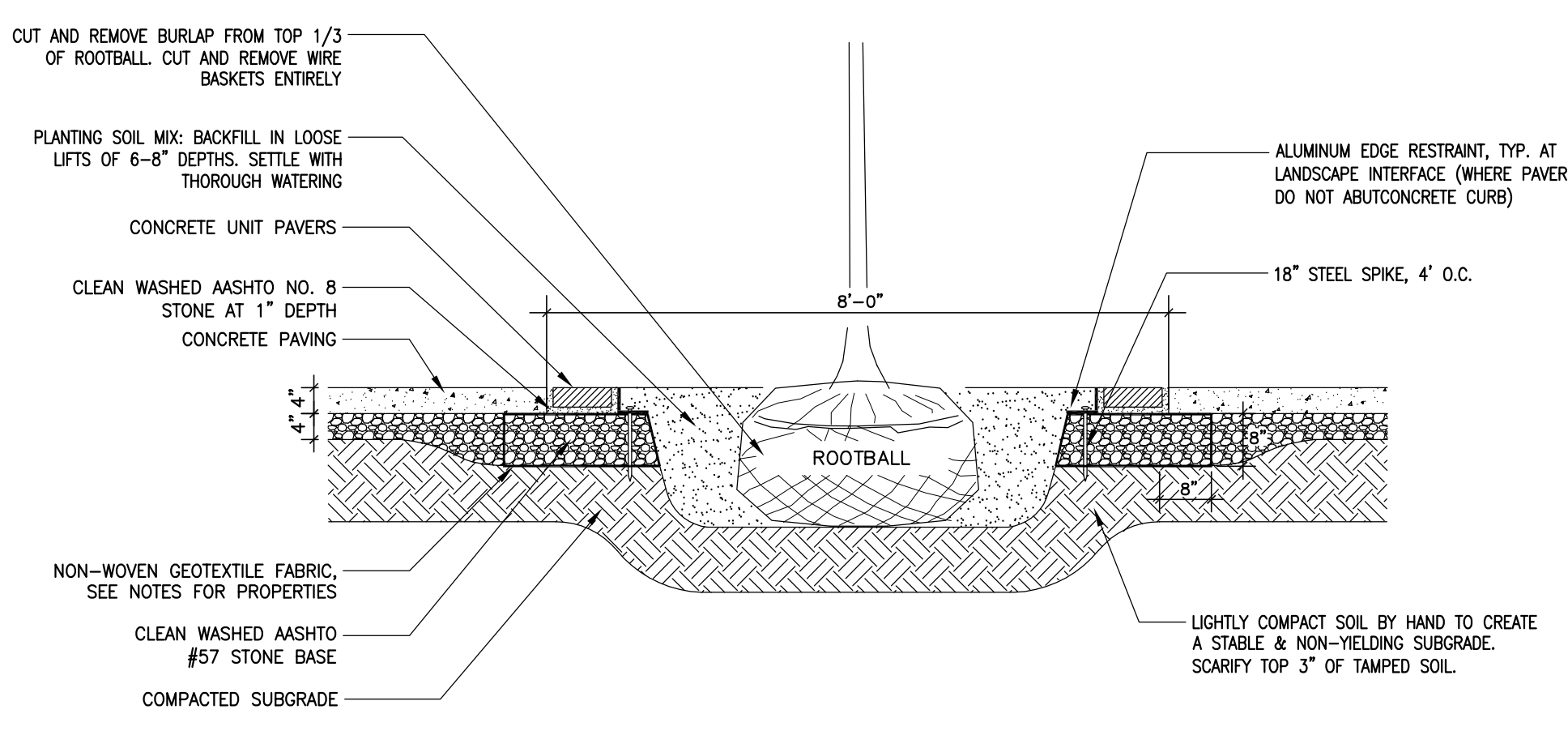
CONCRETE STEPS AT PAVILION PLAZA
NOT TO SCALE



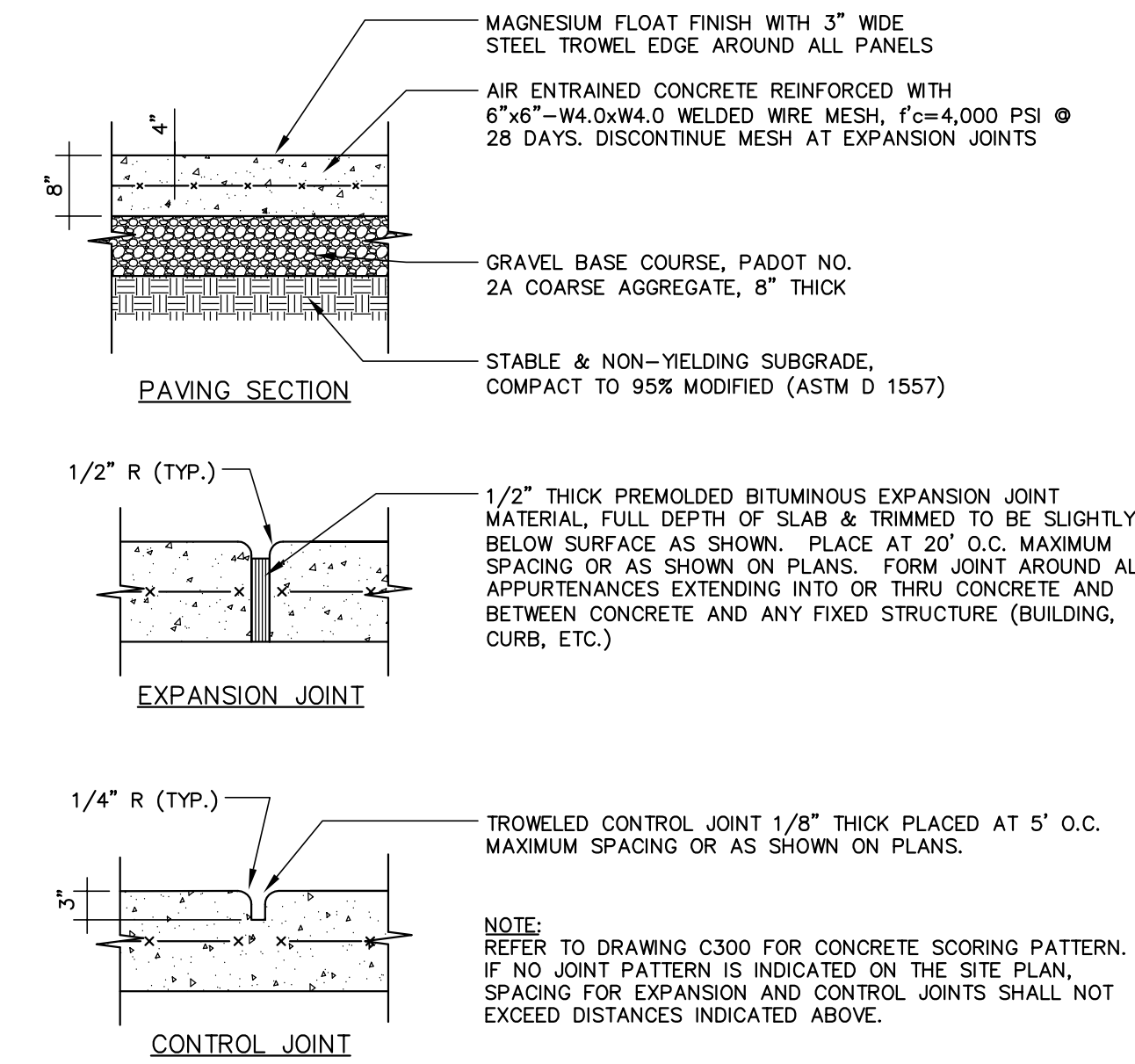
18"x18" INLET
NOT TO SCALE



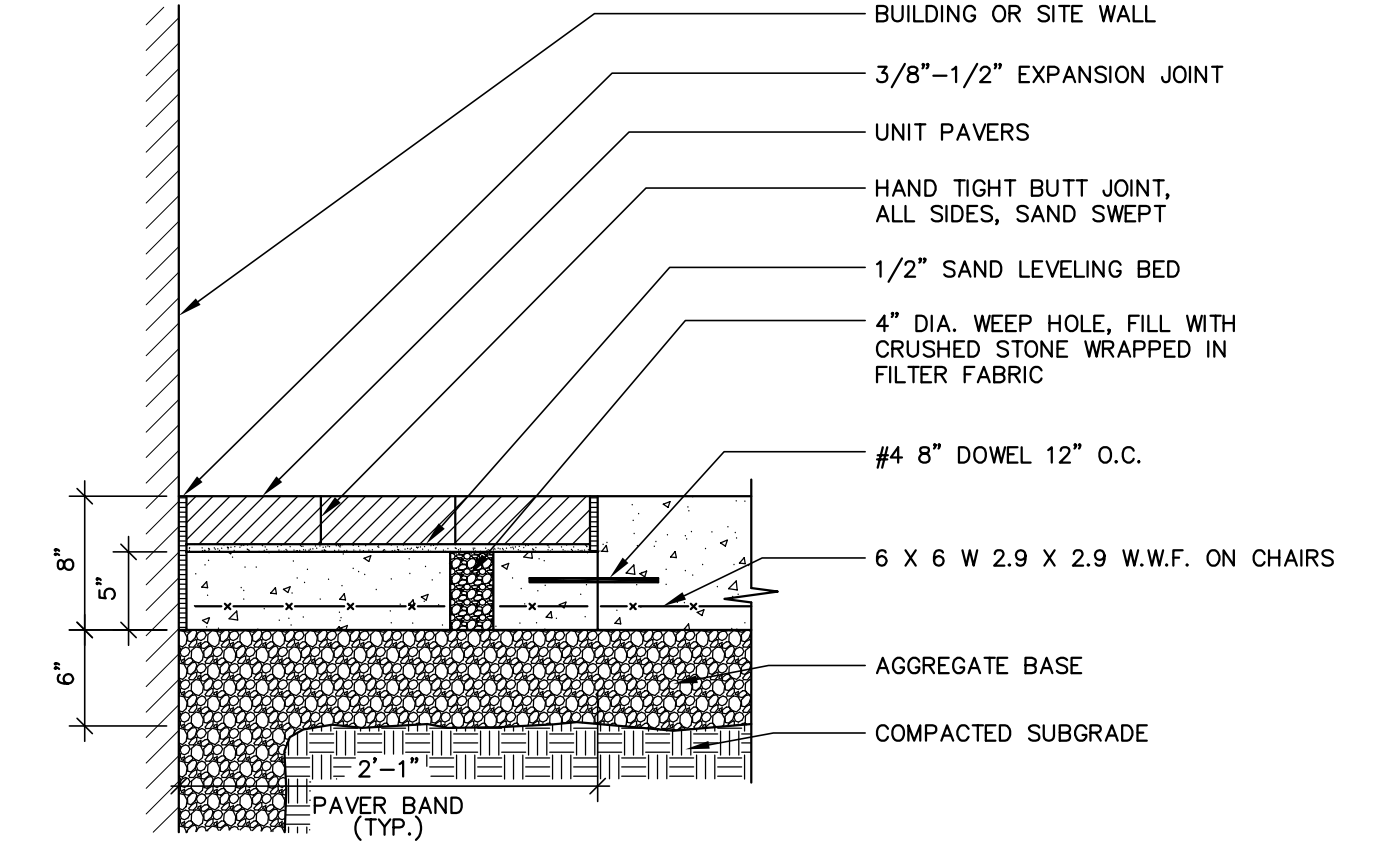
SHORT/ TALL PIER AT PAVILION PLAZA
NOT TO SCALE



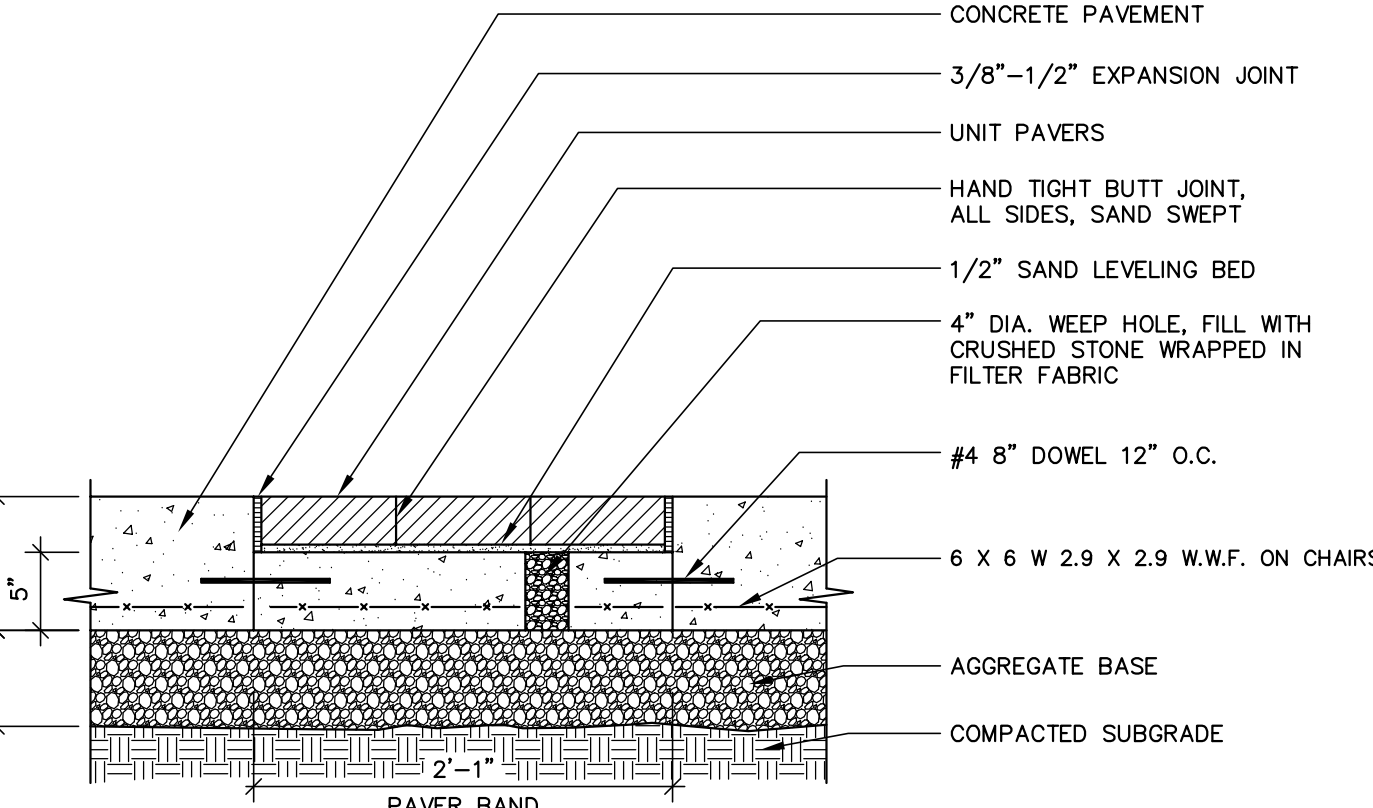
PAVEMENT CONNECTION/ TREE PIT DETAIL AT PAVILION PLAZA
NOT TO SCALE



HEAVY DUTY CONCRETE PAVING
NOT TO SCALE



PAVER BAND ALONG BUILDING OR SITE WALL AT PAVILION PLAZA
NOT TO SCALE



PAVER BAND IN CONCRETE SIDEWALK AT PAVILION PLAZA
NOT TO SCALE

7 ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6 CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
5 CONSTRUCTION SET	CPN	MJC	13.10.18
4 ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
3 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
2 SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1 SUBMISSION FOR CDP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	By	App'd	YY-MM-DD

File Name: 177901252-c800.dwg

Permit-Seal

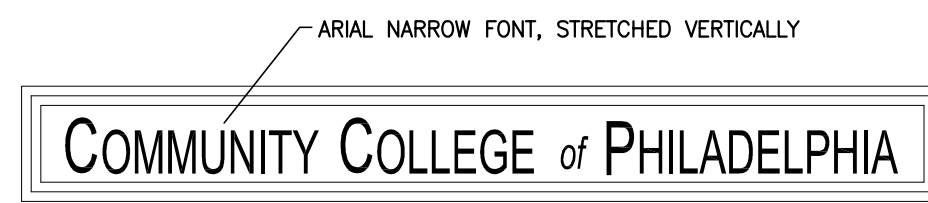
Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
 Philadelphia, PA

Title
CIVIL & LANDSCAPE CONSTRUCTION DETAILS

Project No. 177901252 Scale AS SHOWN
 Drawing No. Sheet Revision

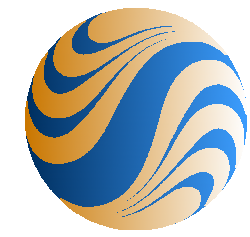
C800 8 of 14 0

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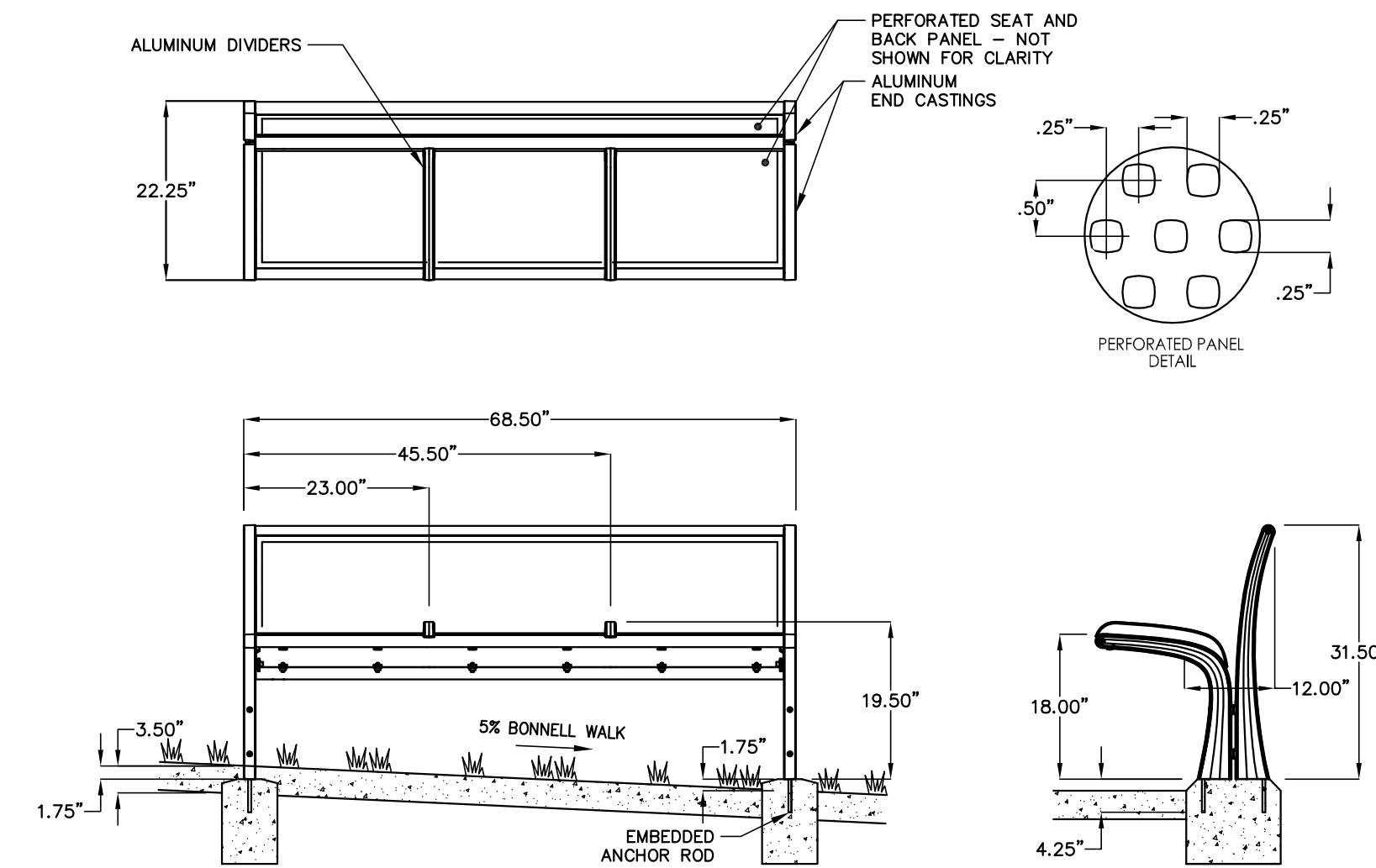


SIGN LETTERING ELEVATION AT PAVILION PLAZA
NOT TO SCALE

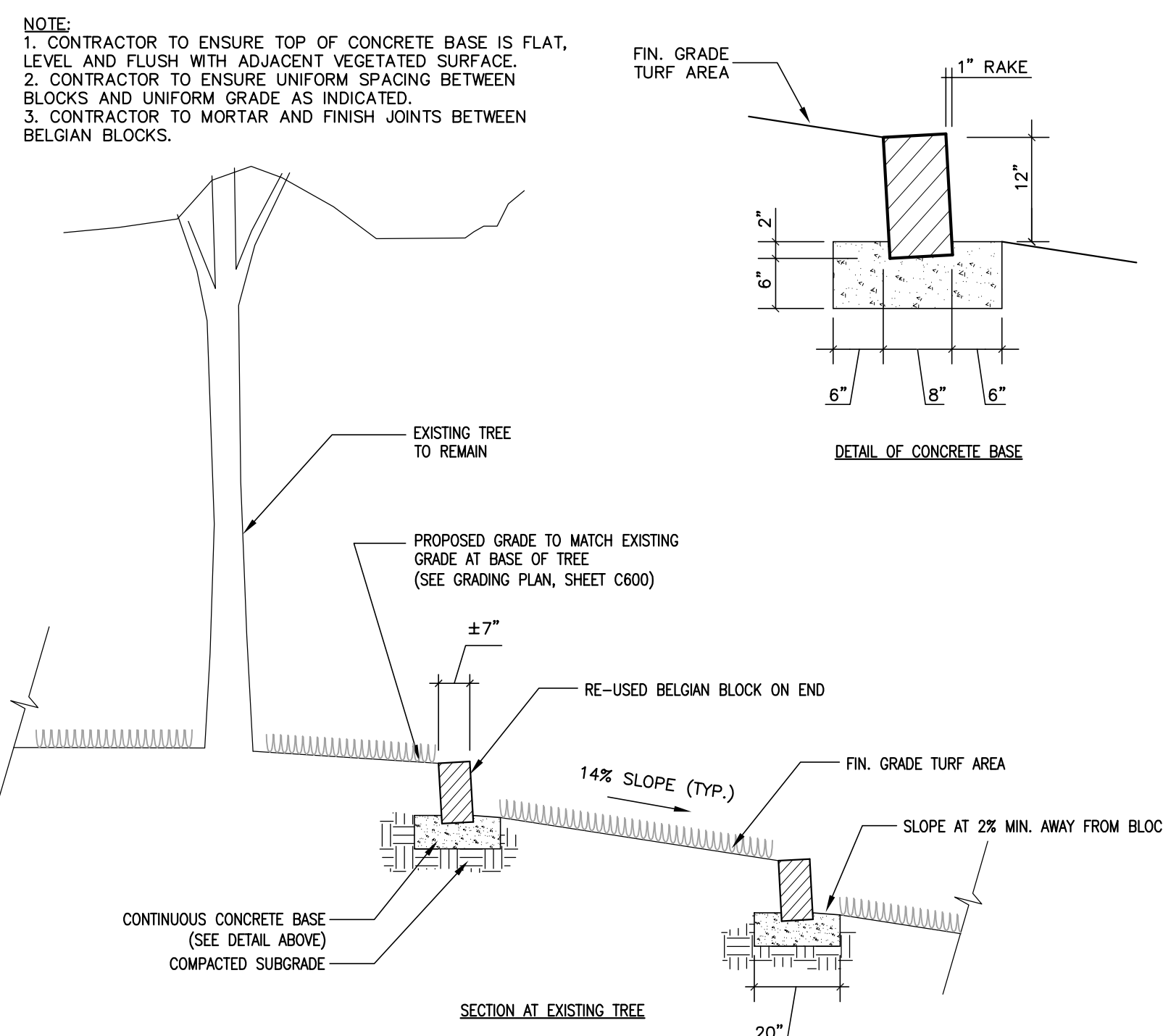
NOTE: DETAIL SHOWN IS BASIS OF DESIGN ONLY; CONTRACTOR TO SUBMIT SHOP DRAWINGS AND MANUFACTURER'S RENDERING FOR OWNER'S APPROVAL.



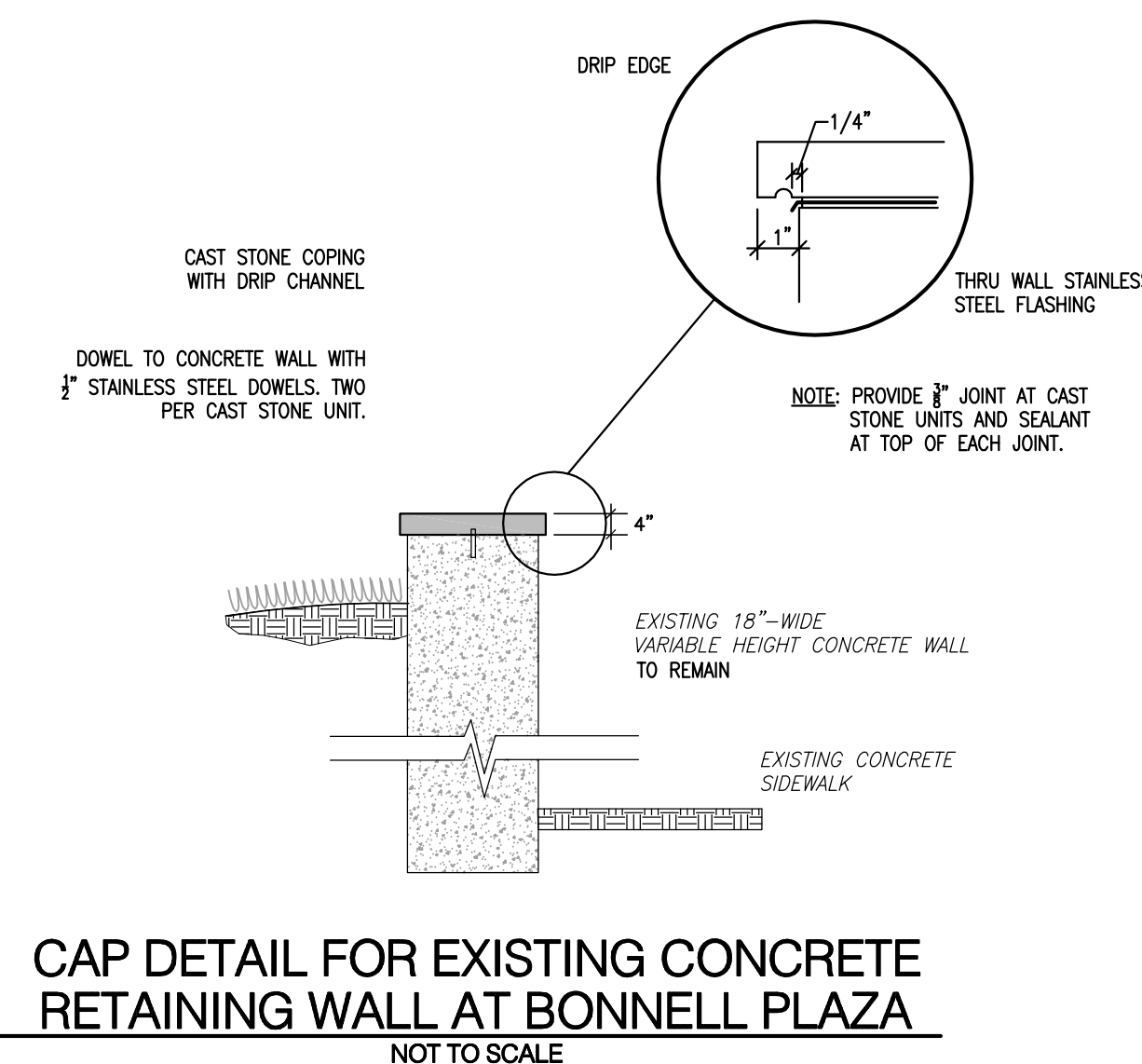
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**BENCH DETAIL
 BONNELL WALK**
 NOT TO SCALE



**BELGIAN BLOCK KNEE WALL
 AT BONNELL PLAZA**
 NOT TO SCALE



**CAP DETAIL FOR EXISTING CONCRETE
 RETAINING WALL AT BONNELL PLAZA**
 NOT TO SCALE

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Notes

7 ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6 CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
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2 SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1 SUBMISSION TO CCP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	By	Appd.	YY.MM.DD

File Name: 177901252-c801.dwg	Desn.	Chkd.	Desn.	YY.MM.DD
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Permit-Seal

Client/Project

COMMUNITY COLLEGE
 OF PHILADELPHIA

PAVILION AND BONNELL PLAZAS
 & 17TH STREET IMPROVEMENTS
 Philadelphia, PA

Title

CIVIL & LANDSCAPE
 CONSTRUCTION DETAILS

Project No.	Scale	
177901252	AS SHOWN	
Drawing No.	Sheet	Revision

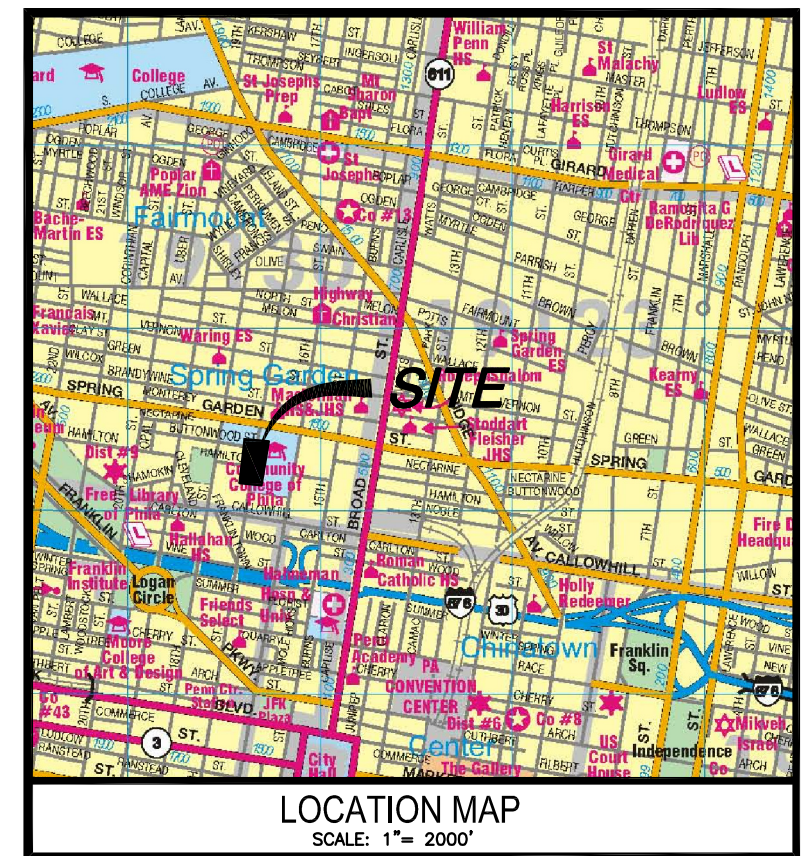
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Notes



- GENERAL NOTES:
- ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "CIVIL EXISTING CONDITIONS - 1" AND "CIVIL EXISTING CONDITIONS - 2" DATED JUNE 12, 2009. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRICAL WALL AND OIL TANK WHICH ARE SITUATED WITHIN THE BONNELL PLAZA ANEX. THE INFORMATION IS REFERENCED FROM PLAN TITLES "GROUND FLOOR PLAN SOUTH 1" BY THE KLING PARTNERSHIP DATED NOVEMBER 20, 1979 AND LAST REVISED SEPTEMBER 1, 1982 & DIAGRAMS SOUTH WEST BY THE KLING PARTNERSHIP DATED NOVEMBER 20, 1979 AND LAST REVISED SEPTEMBER 1, 1982. BENCHMARK IS CALLED OUT BY THE HUNT ENGINEERING PLANS NOTED ABOVE. AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET, SOUTHWEST CORNER OF INTERSECTION, EAST END OF LOWEST GRANITE STEP AT THE MAIN ENTRANCE TO LIBRARY, ELEVATION 68.28.
 - ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED IDL.
 - SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 420753-01830, LAST REVISED JANUARY 17, 2007.
 - UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT OF WAY. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).
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 - THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 187 AS AMENDED.
 - REFER TO PLAN TITLED "CIVIL EROSION AND SEDIMENT CONTROL PLAN" AND "CIVIL DETAILS - 2" DATED SEPTEMBER 23, 2009 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR NPDES APPLICATION.

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ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6 CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
5 CONSTRUCTION SET	CPN	MJC	13.10.18
4 ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
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1 SUBMISSION TO CCP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	By	Appd.	YY.MM.DD

File Name: 177901252-e100.dwg
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 Date: _____
 Chkd: _____
 Dsgn: _____
 YY.MM.DD

Client/Project
 COMMUNITY COLLEGE
 OF PHILADELPHIA
 PAVILION AND BONNELL PLAZAS
 & 17TH STREET IMPROVEMENTS
 Philadelphia, PA

Title
 ELECTRICAL & SITE LIGHTING PLAN
 BONNELL PLAZA

Project No. 177901252 Scale 1"=10'
 Drawing No. _____ Sheet _____ Revision _____

E100 11 of 14 0

SYMBOLS LEGEND

- ⊙ A EXTERIOR GROUND MOUNTED LIGHT FIXTURE (POLE, BOLLARD, ETC.)
 "A" INDICATES FIXTURE TYPE, DIRECTIONAL ARROW COMPONENT
 INDICATES DIRECTION OF FIXTURE HEADLAMP. CIRCULAR
 COMPONENT INDICATES MOUNTING BASE LOCATION.
- ⊙ A SURFACE MOUNTED LIGHT FIXTURE
 "A" INDICATES FIXTURE TYPE.
- ETR EXISTING TO REMAIN.
- ⊙ GFCI RECEPTACLE.

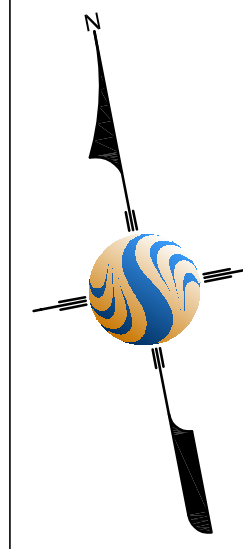
GENERAL NOTES

- THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES AND REGULATIONS.
- ALL MATERIAL, ELECTRICAL DEVICES, AND EQUIPMENT PROVIDED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND SHALL BE UL APPROVED AND LABELED UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL WORK IS NEW UNLESS NOTED OTHERWISE AND SHALL BE NEAT AND PERFORMED IN A CRAFTSMANLIKE MANNER IN ACCORDANCE WITH NECA 14001 AND NEC 110.12.
- ALL CONDUIT ROUTINGS AND WIRING SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE THE CONDUIT ROUTING WITH ALL TRADES, PRIOR TO INSTALLATION. THE LOCATION OF ALL EQUIPMENT AND CONDUIT ARE APPROXIMATE, AND ARE SHOWN FOR INFORMATION ONLY.
- REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWING E101 FOR INFORMATION ON FIXTURE TYPE, LAMPING, MOUNTING, ETC.
- PROVIDE ADDITIONAL HANDHOLES AS REQUIRED TO FACILITATE CABLE PULLING AND IN ACCORDANCE WITH NEC AND MANUFACTURER'S RECOMMENDATIONS. CABLE PULLING TENSIONS AS MEASURED WITH A DYNAMOMETER SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION.

KEY NOTES

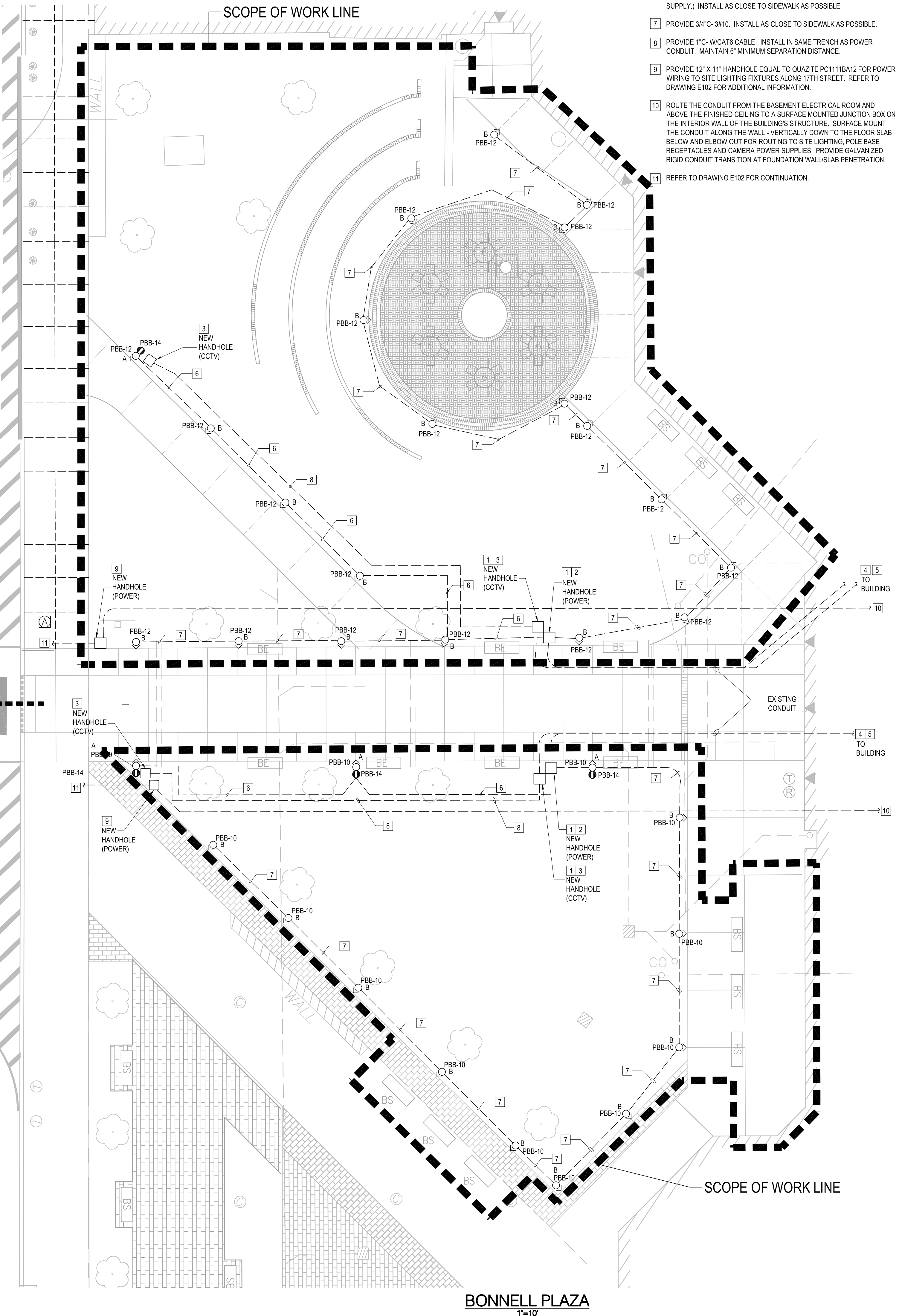
- EXISTING CONDUIT IS STUBBED OUT UNDER SIDEWALK. CONTRACTOR SHALL EXCAVATE TO FIND EXACT LOCATION FOR NEW HANDHOLE. EXISTING 1" C INTO BUILDING SHALL BE USED FOR CAMERA CABLING. EXISTING 3/4" INTO BUILDING SHALL BE USED FOR POWER WIRING.
- PROVIDE 12" X 18" HANDHOLE EQUAL TO QUAZITE PC1118B12 FOR POWER WIRING.
- PROVIDE 12" X 18" HANDHOLE EQUAL TO QUAZITE PC1118B12 FOR CAMERA WIRING.
- EXISTING 3/4" CONDUIT INTO BUILDING. CONDUIT RUNS TO FIRST FLOOR JUNCTION BOX IN COLUMN BEHIND SECURITY DESK. PROVIDE NEW 3/4" CONDUIT FROM JUNCTION BOX TO NEAREST PATCH PANEL. COORDINATE AND CONFIRM LOCATION WITH OWNER. PROVIDE CAT5 CABLE FOR FUTURE CAMERA INSTALLATION BY OTHERS. LEAVE SUFFICIENT CABLE LENGTH AT HANDHOLE AND PATCH PANEL LOCATION FOR FUTURE TERMINATION.
- EXISTING 1" CONDUIT INTO BUILDING. CONDUIT RUNS TO FIRST FLOOR JUNCTION BOX IN COLUMN BEHIND SECURITY DESK. PROVIDE NEW 1" C FROM JUNCTION BOX TO NEAREST PATCH PANEL. COORDINATE AND CONFIRM LOCATION WITH OWNER. PROVIDE CAT5 CABLE FOR FUTURE CAMERA INSTALLATION BY OTHERS. LEAVE SUFFICIENT CABLE LENGTH AT HANDHOLE AND PATCH PANEL LOCATION FOR FUTURE TERMINATION.
- PROVIDE 3/4" C-810 (3/8" CONDUCTOR CONTROLLED FOR SITE LIGHTING, 3/8" UNSWITCHED FOR POLE BASE RECEPTACLE AND CAMERA POWER SUPPLY). INSTALL AS CLOSE TO SIDEWALK AS POSSIBLE.
- PROVIDE 3/4" C-810. INSTALL AS CLOSE TO SIDEWALK AS POSSIBLE.
- PROVIDE 1" C-WICATS CABLE. INSTALL IN SAME TRENCH AS POWER CONDUIT. MAINTAIN 6" MINIMUM SEPARATION DISTANCE.
- PROVIDE 12" X 11" HANDHOLE EQUAL TO QUAZITE PC1118B12 FOR POWER WIRING TO SITE LIGHTING FIXTURES ALONG 17TH STREET. REFER TO DRAWING E102 FOR ADDITIONAL INFORMATION.
- ROUTE THE CONDUIT FROM THE BASEMENT ELECTRICAL ROOM AND ABOVE THE FINISHED CEILING TO A SURFACE MOUNTED JUNCTION BOX ON THE INTERIOR WALL OF THE BUILDING'S STRUCTURE. SURFACE MOUNT THE CONDUIT ALONG THE WALL - VERTICALLY DOWN TO THE FLOOR SLAB BELOW AND ELBOW OUT FOR ROUTING TO SITE LIGHTING. POLE BASE RECEPTABLES AND CAMERA POWER SUPPLIES. PROVIDE GALVANIZED RIGID CONDUIT TRANSITION AT FOUNDATION WALL/SLAB PENETRATION.

REFER TO DRAWING E102 FOR CONTINUATION.

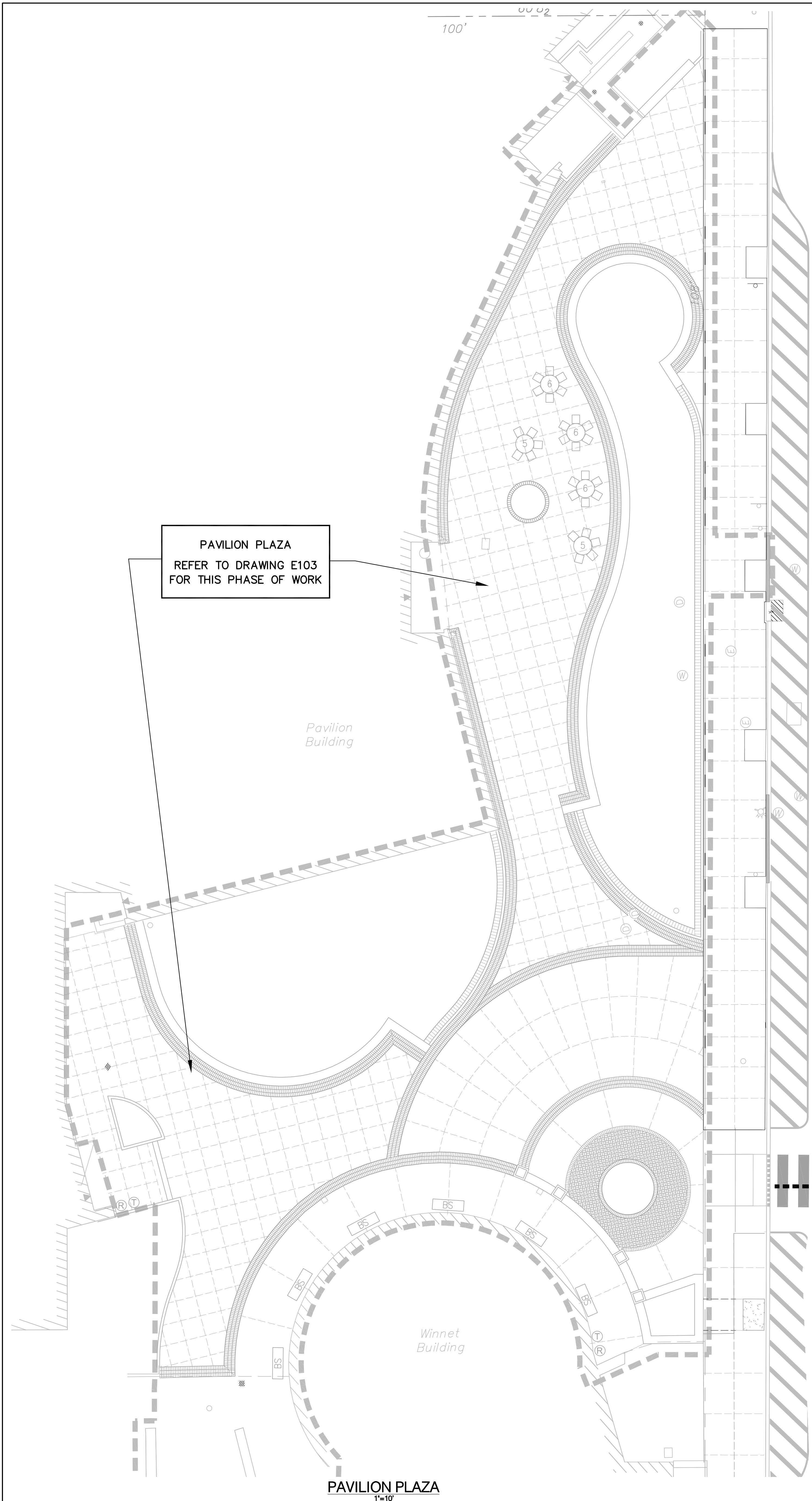


17TH STREET
 50' Wide (12'-26"-12')
 On City Plan / Legally Open
 One Way

MATCH LINE



BONNELL PLAZA
 1"=10'

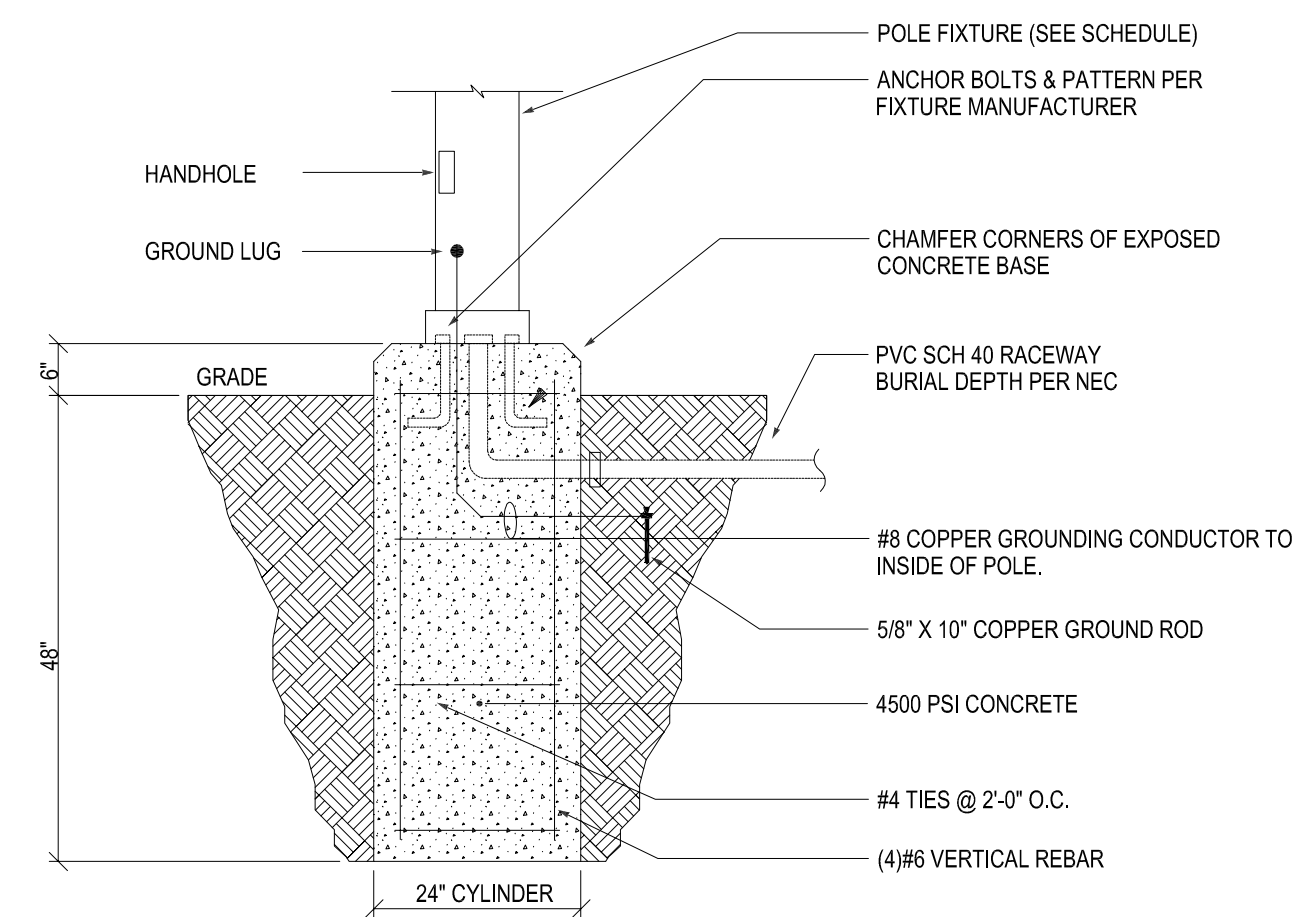


PAVILION PLAZA
 1"=10'

PAVILION PLAZA
 REFER TO DRAWING E103
 FOR THIS PHASE OF WORK

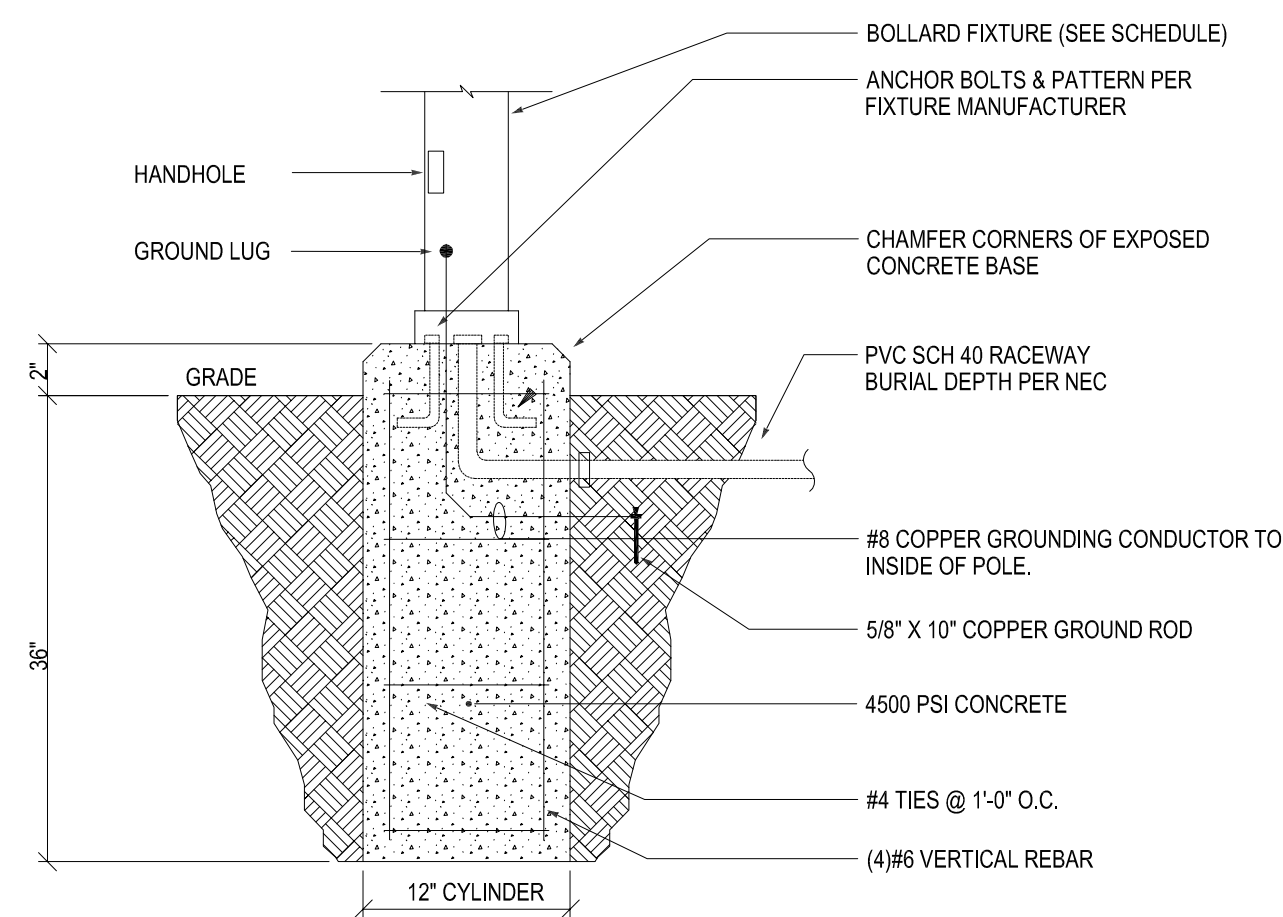
Pavilion Building

Winnet Building



NOTE:
 1. PROVIDE A SEPARATE 1" PVC SCH 40 RACEWAY FOR LOW-VOLTAGE WIRING SERVING THE SECURITY CAMERA ON THE LIGHT POLE.

1 TYPICAL 6" BASE FOR LIGHT POLE MOUNTING (POLES ABOVE 4'-0" HIGH)
 NOT TO SCALE



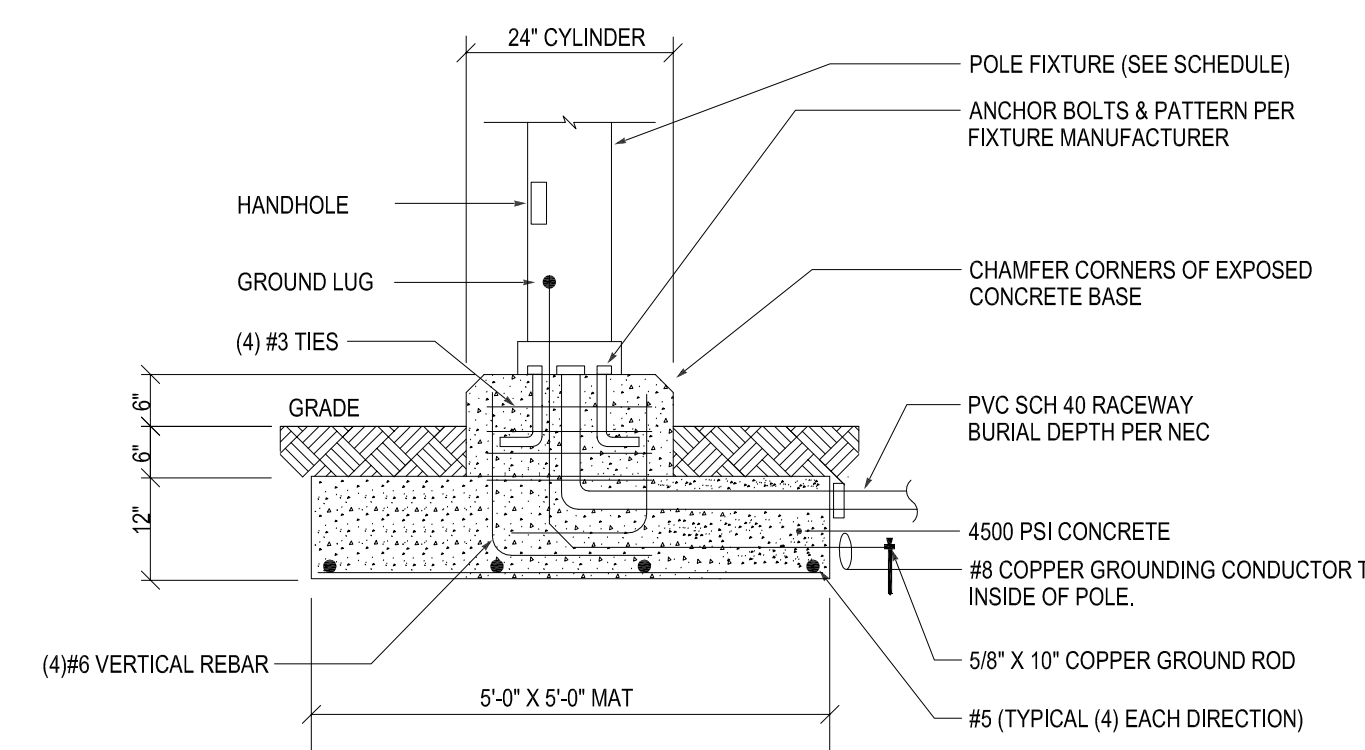
NOTE:
 1. PROVIDE A SEPARATE 1" PVC SCH 40 RACEWAY FOR LOW-VOLTAGE WIRING SERVING THE SECURITY CAMERA ON THE LIGHT POLE.

2 2" BOLLARD BASE MOUNTING DETAIL (FIXTURES LESS THEN 4'-0" HIGH)
 NOT TO SCALE

LIGHTING FIXTURE SCHEDULE									
FIXTURE TAG	DESCRIPTION	MOUNTING	LAMP QUANTITY/TYPE	WATTS	VOLTAGE	MANUFACTURER	CATALOG NUMBER OR SERIES	NOTES	
A	PEDESTRIAN SCALE LED POLE LIGHT, PENDANT STYLE, WITH CLEAR SHALLOW DROP GLASS LENS, TYPE II, GRAY FINISH, BANNER ARM, GFI RECEPTACLE, 4" ALUMINUM POLE WITH 6" BASE, CLEAR SKY FRIENDLY, 24" ARM.	POLE	3500K LED	75	120	KING LUMINAIRE	K803-FASH-II-75-SSL-8000-120-GY	1,2	
A2	PEDESTRIAN SCALE LED POLE LIGHT, PENDANT STYLE, WITH CLEAR SHALLOW DROP GLASS LENS, TYPE II, GRAY FINISH, BANNER ARM, GFI RECEPTACLE, 4" ALUMINUM POLE WITH 6" BASE, CLEAR SKY FRIENDLY, 36" ARM.	POLE	3500K LED	75	120	KING LUMINAIRE	K803-FASH-II-75-SSL-8000-120-GY	2,6	
B	42" HIGH LED BOLLARD WITH FULL LIGHT CUTOFF, ASYMMETRIC TYPE III DISTRIBUTION, SILVER FINISH	BOLLARD	3500K LED	12	120	SELUX	NT-3.5-LG3700-35-SV-120	5	
C	9" LED BOLLARD WITH ROTATIONALLY SYMMETRICAL DISTRIBUTION, SILVER FINISH, ANCHORAGE KIT, INTEGRAL DRIVER, CLEAR SKY FRIENDLY	LOW-LEVEL BOLLARD	3000K LED	24.5	120	BEGA	7740LED-K3-SLV-895A		
D	4" SQUARE LED STEP LIGHT WITH WHITE GLASS LENS, IP67, STAINLESS STEEL TRIM, INTEGRAL DRIVER	WALL MOUNTED STEP LIGHT	3000K LED	5	120	COLE LIGHTING	.121 SERIES		
E	SMALL PROFILE LED STRIP LIGHT, IP66 RATED, 13" LENGTHS FOR FIELD ADJUSTABLE BRACKETS, REMOTE DRIVERS	SURFACE	3500K LED	8WFT	24/120	Q2 SYSTEMS	V3285-A-1-3-CBC-OUTDOOR-BLACK ANODIZE-VLA5	4	

LIGHTING FIXTURE SCHEDULE NOTES

- PROVIDE FIXTURE WITH 14" POLE EQUAL TO STRESSCRETE "PORT CREDIT STYLE" CATALOG #K882-A-14-BE-BA-GFI AND SINGLE ARM EQUAL TO KA94-S-A-BK. ARM SHALL EXTEND 24" FROM POLE BASE WITH 6" RISE.
 - REFER TO DETAIL 1 ON DRAWING E101 FOR MOUNTING INFORMATION UNLESS OTHERWISE NOTED.
 - PROVIDE OUTDOOR RATED DRIVERS FOR MOUNTING IN ADJACENT HANDHOLES. PROVIDE QUANTITY OF DRIVES SUITABLE FOR OPERATING QUANTITY OF FIXTURES AS INDICATED ON PLAN. DRIVER SHALL BE EQUAL TO ESP8V. PROVIDE ALL MOUNTING ACCESSORIES FOR MOUNTING ALONG WALL. REFER TO ARCHITECTURAL SECTIONS FOR DETAILS ON MOUNTING.
 - REFER TO DETAIL 2 ON DRAWING E101 FOR MOUNTING INFORMATION.
 - PROVIDE FIXTURE WITH 14" POLE EQUAL TO STRESSCRETE "PORT CREDIT STYLE" CATALOG #K882-A-14-BE-BA AND SINGLE ARM EQUAL TO KA94-S-A-BK. ARM SHALL EXTEND 36" FROM POLE BASE WITH 6" RISE.
- GENERAL NOTES**
- IF DISCREPANCY EXISTS BETWEEN FIXTURE CATALOG NUMBER AND FIXTURE DESCRIPTION, FIXTURE DESCRIPTION SHALL TAKE PRECEDENCE.
 - TARGET ILLUMINANCE LEVELS ON THE PAVEMENT ARE 2.0 FOOTCANDLES MINIMUM MAINTAINED.



NOTE:
 1. PROVIDE A SEPARATE 1" PVC SCH 40 RACEWAY FOR LOW-VOLTAGE WIRING SERVING THE SECURITY CAMERA ON THE LIGHT POLE.

4 SPECIALTY 6" BASE FOR LIGHT POLE MOUNTING WITH UTILITIES BELOW
 NOT TO SCALE

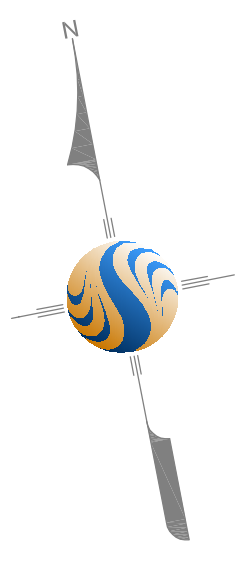
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Issued	By	Appd.	YY.MM.DD

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Permit-Seal				

Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
 Philadelphia, PA

Title
LIGHTING & ELECTRICAL DETAILS

Project No. 177901252	Scale NOT TO SCALE
Drawing No. E101	Sheet 12 of 14
	Revision 0



Page of Philadelphia
Page 152
of 41

SYMBOLS LEGEND

- ⊙ EXTERIOR GROUND MOUNTED LIGHT FIXTURE (POLE, BOLLARD, ETC.)
- *1 INDICATES FIXTURE TYPE, DIRECTIONAL ARROW COMPONENT INDICATES DIRECTION OF FIXTURE HEADLAMP, CIRCULAR COMPONENT INDICATES MOUNTING BASE LOCATION.

LEGEND

- EXISTING
- - - DEMOLITION
- - - NEW

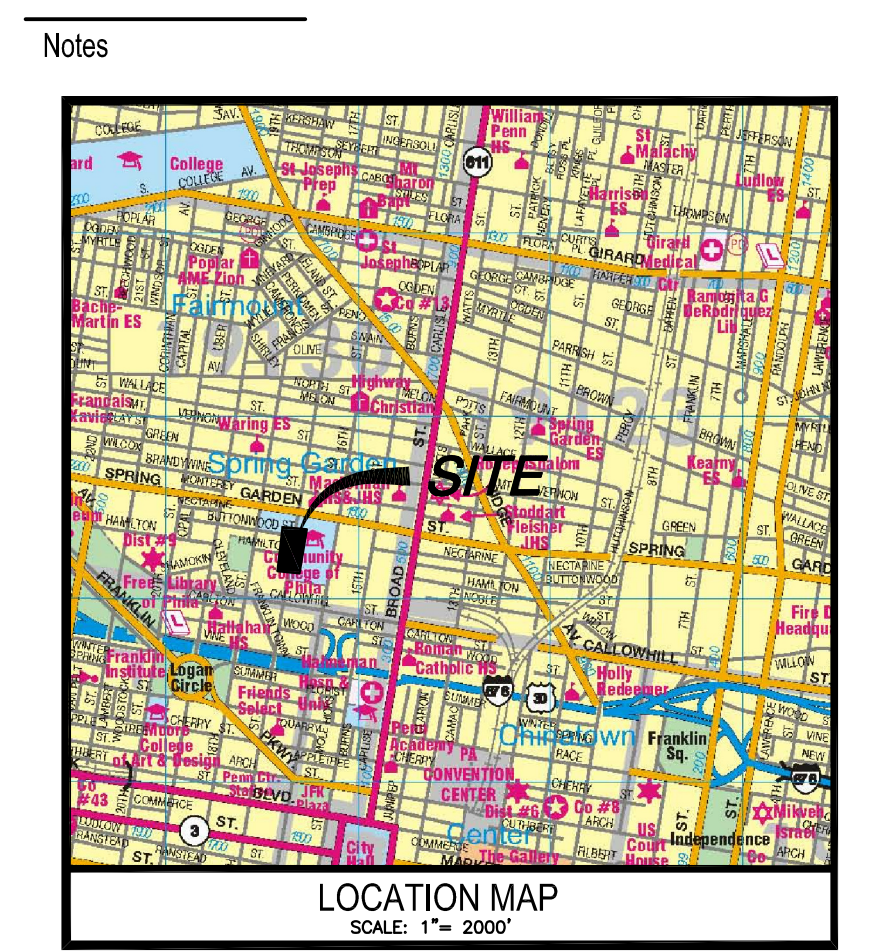
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5. REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWING E101 FOR INFORMATION ON FIXTURE TYPE, LAMPING, MOUNTING, ETC.
6. PROVIDE ADDITIONAL HANDHOLES AS REQUIRED TO FACILITATE CABLE PULLING AND IN ACCORDANCE WITH NEC AND MANUFACTURER'S RECOMMENDATIONS. CABLE PULLING TENSIONS AS MEASURED WITH A DYNAMOMETER SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION.

KEY NOTES

1. REMOVE EXISTING LIGHT FIXTURE AND WOODEN UTILITY POLE. REMOVE EXISTING OVERHEAD WIRING BACK TO ITS NEXT ACTIVE DEVICE.
2. REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWING E101 FOR POLE BASE MOUNTING DETAIL. WHERE UNDERGROUND UTILITIES DO NOT PERMIT THE POLE FOUNDATION DEPTH INDICATED FOR THE FIXTURE. PROVIDE ALTERNATE POLE BASE MOUNTING DETAIL (DETAIL A/E101). CONSULT CIVIL ENGINEER, AND COLLEGE REPRESENTATIVE PRIOR TO CHANGES REGARDING POLE BASE.
3. PROVIDE 3/4" - 3/8" CONTACTOR CONTROLLED FOR SITE LIGHTING. REFER TO DRAWING E103 FOR CONTINUATION OF THE CONDUIT/WIRING RUN.
4. PROVIDE 3/4" - 3/8" CONTACTOR CONTROLLED FOR SITE LIGHTING.
5. PROVIDE 3/4" - 3/8" CONTACTOR CONTROLLED FOR SITE LIGHTING. REFER TO DRAWING E100 FOR CONTINUATION OF THE CONDUIT/WIRING RUN.
6. PROVIDE 3/4" - 3/8" CONTACTOR CONTROLLED FOR SITE LIGHTING.
7. CONNECT TO PANEL THROUGH NEW LIGHTING CONTACTOR (3 POLE, ELECTRICAL HED, NEMA 1 ENCLOSURE, BMS CONTROLLED), LOCATE THE NEW LIGHTING CONTACTOR IN THE BASEMENT ELECTRICAL ROOM WHERE PANEL PBB IS LOCATED. COORDINATE EXACT LOCATION IN THE FIELD WITH THE OWNER.
8. CONNECT TO PANEL THROUGH EXISTING LIGHTING CONTACTOR, C2, LOCATED IN THE GROUND LEVEL ELECTRICAL ROOM OF PAVILION BUILDING.
9. REMOVE EXISTING LIGHT FIXTURE AND WOODEN UTILITY POLE. REMOVE AND RETAIN THE EXISTING WIRING FOR REUSE TO REFEED THE REMAINING SITE LIGHTING FIXTURES LOCATED ALONG 17TH STREET, OUTSIDE THE SCOPE OF WORK.
10. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUAZITE PC1118A12 TO REFEED POWER WIRING TO EXISTING SITE LIGHTING FIXTURES ALONG 17TH STREET.
11. PROVIDE 1" C - 388 FOR EXISTING SITE LIGHTING FIXTURES ALONG 17TH STREET.
12. CIRCUIT DOWN TO EXISTING OVERHEAD POLE TO REMAIN. PROVIDE CONDUIT UP POLE AND RECONNECT TO EXISTING OVERHEAD WIRING THAT SERVES EXISTING SITE LIGHTING FIXTURES THAT ARE NOT IN THE SCOPE OF WORK.
13. DIRECTIONAL BORING SHALL BE USED IN THIS AREA TO PREVENT ANY DISTURBANCE TO THE EXISTING CONDITION.

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4. SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 42077-0101, LAST REVISED JANUARY 17, 2007.
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7. THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 117 AS AMENDED.
8. REFER TO PLAN TITLED "GULF EROSION AND SEDIMENT CONTROL PLAN" AND "GULF DETAILS - 2" DATED SEPTEMBER 23, 2009 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR WIDES APPLICATION.

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COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
17TH STREET LIGHTING PLAN

Project No. 177901252 Scale 1"=10'
Drawing No. Sheet Revision
E102 13 of 14 0

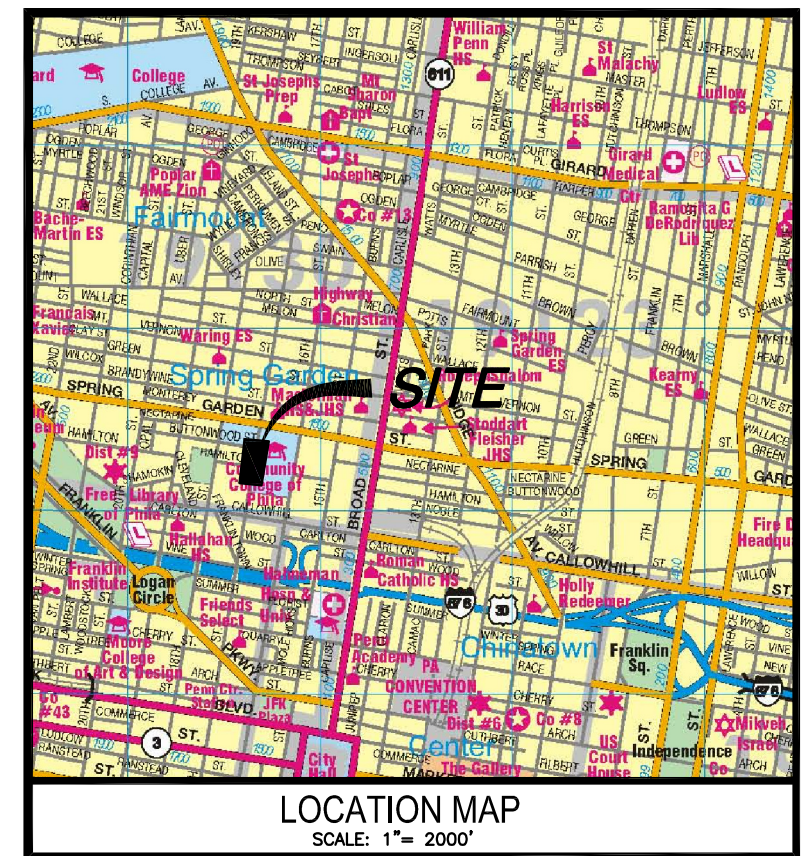
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Notes



GENERAL NOTES:

1. ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "CIVIL EXISTING CONDITIONS - 1" AND "CIVIL EXISTING CONDITIONS - 2" DATED JUNE 12, 2009. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRICAL WALL AND OIL TANK WHICH ARE SITUATED WITHIN THE BONNELL PLAZA ANNEX. THE INFORMATION IS REFERENCED FROM PLAN TITLED "GROUND FLOOR PLAN SOUTH 1" BY THE KLING PARTNERSHIP DATED NOVEMBER 20, 1979 AND "DETAILS & DIAGRAMS SOUTH WEST" BY THE KLING PARTNERSHIP DATED NOVEMBER 20, 1979 AND LAST REVISED SEPTEMBER 1, 1912. BENCHMARK IS CALLED OUT ON THE HUNT ENGINEERING PLANS NOTED ABOVE AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET, SOUTHWEST CORNER OF INTERSECTION, EAST END OF LOWEST GRANITE STEP AT THE MAIN ENTRANCE TO LIBRARY, ELEVATION 81.21.
2. ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED IDU.
3. SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 42075-013G, LAST REVISED JANUARY 17, 2007.
4. UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT-OF-WAY. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).
5. ALL PROPOSED UTILITY SERVICES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 117 AS AMENDED.
7. REFER TO PLAN TITLED "CIVIL EROSION AND SEDIMENT CONTROL PLAN" AND "CIVIL DETAILS" 2" DATED SEPTEMBER 23, 2009 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR NPDES APPLICATION.

NOTE: UNDERGROUND UTILITY INFORMATION DEPICTED ON PLANS IS TAKEN FROM SURVEY AND DESIGN PLANS PROVIDED BY HUNT ENGINEERING. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).

7 ISSUED FOR CONSTRUCTION	CPN	MJC	13.12.04
6 CHILLED WATER MAINS PER 6/2/1999 PLAN	CPN	MJC	13.10.25
5 CONSTRUCTION SET	CPN	MJC	13.10.18
4 ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
3 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
2 SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
1 SUBMISSION TO CCP FOR BONNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	By	Appd.	YY.MM.DD

File Name: 177901252-e103.dwg
Permit-Seal
Date: _____
Chkd: _____
Desgn: YY.MM.DD

Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
ELECTRICAL & SITE LIGHTING PLAN
PAVILION PLAZA

Project No. 177901252
Drawing No. E103
Scale 1"=10'
Sheet 14 of 14
Revision 0

SYMBOLS LEGEND

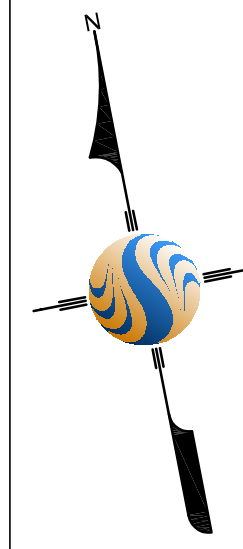
- ⊙ A EXTERIOR GROUND MOUNTED LIGHT FIXTURE (POLE, BOLLARD, ETC.)
"A" INDICATES FIXTURE TYPE. DIRECTIONAL ARROW COMPONENT INDICATES DIRECTION OF FIXTURE HEADLAMP. CIRCULAR COMPONENT INDICATES MOUNTING BASE LOCATION.
- ⊙ A EXTERIOR WALL MOUNTED LIGHT FIXTURE
"A" INDICATES FIXTURE TYPE.
- ETR EXISTING TO REMAIN.
- ⊙ GFCI RECEPTACLE.

GENERAL NOTES

1. THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE CONTRACTOR SHALL BE NEW AND UNUSED AND SHALL BE UL APPROVED AND LABELED UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL MATERIAL ELECTRICAL DEVICES, AND EQUIPMENT PROVIDED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND SHALL BE UL APPROVED AND LABELED UNLESS SPECIFICALLY NOTED OTHERWISE.
3. ALL WORK IS NEW UNLESS NOTED OTHERWISE AND SHALL BE NEAT AND PERFORMED IN A CRAFTSMANLIKE MANNER IN ACCORDANCE WITH NECA 1-2000 AND NEC 110.12.
4. ALL CONDUIT ROUTINGS AND WIRING SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE THE CONDUIT ROUTING WITH ALL TRADES. PRIOR TO INSTALLATION. THE LOCATION OF ALL EQUIPMENT AND CONDUIT ARE APPROXIMATE, AND ARE SHOWN FOR INFORMATION ONLY.
5. REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWING E101 FOR POLE BASE MOUNTING DETAIL REFERENCE. WHERE UNDERGROUND UTILITIES DO NOT PERMIT THE POLE FOUNDATION DEPTH INDICATED FOR THE FIXTURE, PROVIDE ALTERNATE POLE BASE MOUNTING DETAIL A/E-101. CONSULT CIVIL ENGINEER, AND COLLEGE REPRESENTATIVE PRIOR TO CHANGES REGARDING POLE BASE.
6. ALL SITE LIGHTING CIRCUITS ARE TO BE ROUTED THROUGH THE LIGHTING CONTROLLER, C2, LOCATED IN THE GROUND LEVEL ELECTRICAL ROOM.
7. PROVIDE ADDITIONAL HANDHOLES AS REQUIRED TO FACILITATE CABLE PULLING AND IN ACCORDANCE WITH NEC AND MANUFACTURER'S RECOMMENDATIONS. CABLE PULLING TENSIONS AS MEASURED WITH A DYNAMOMETER SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION.

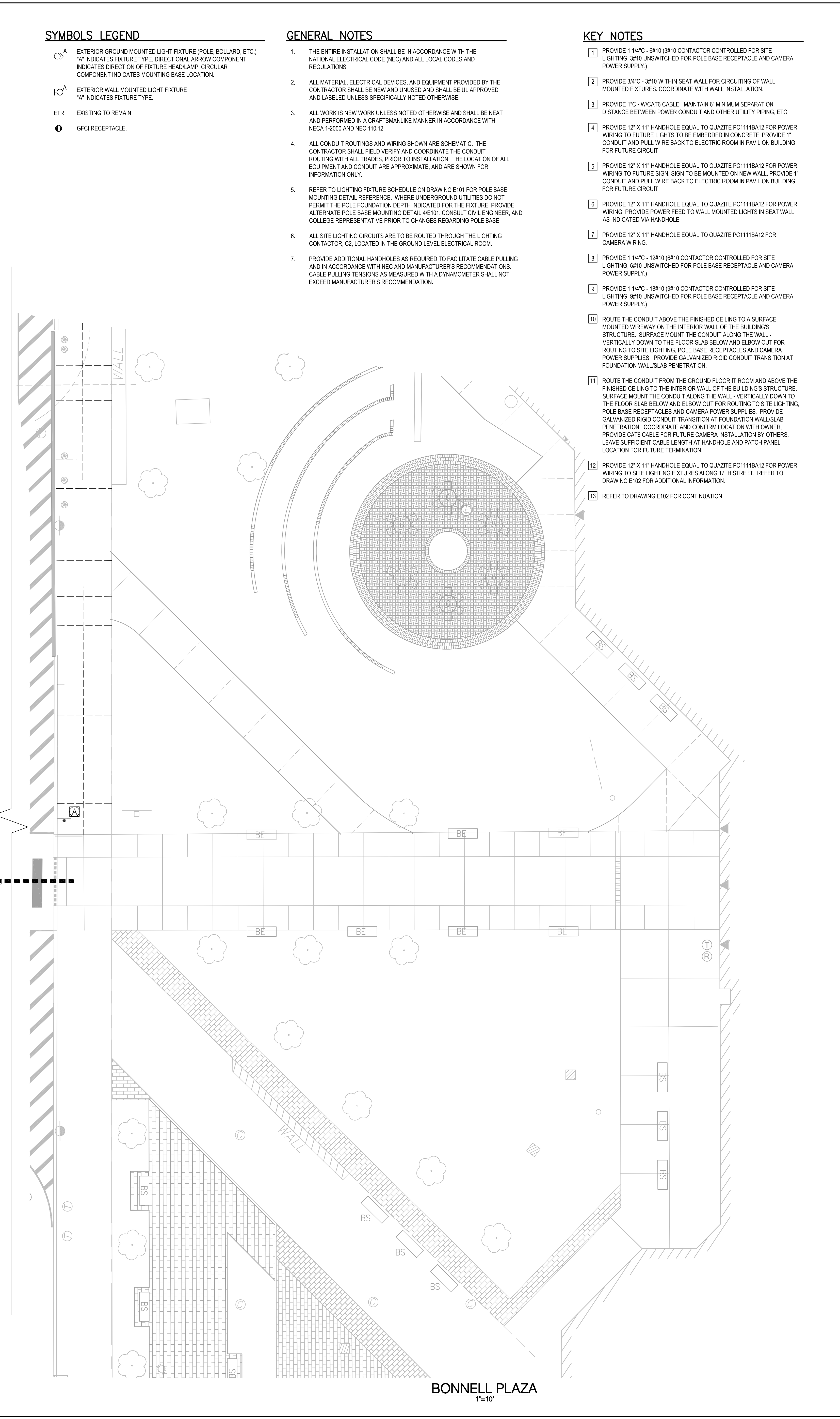
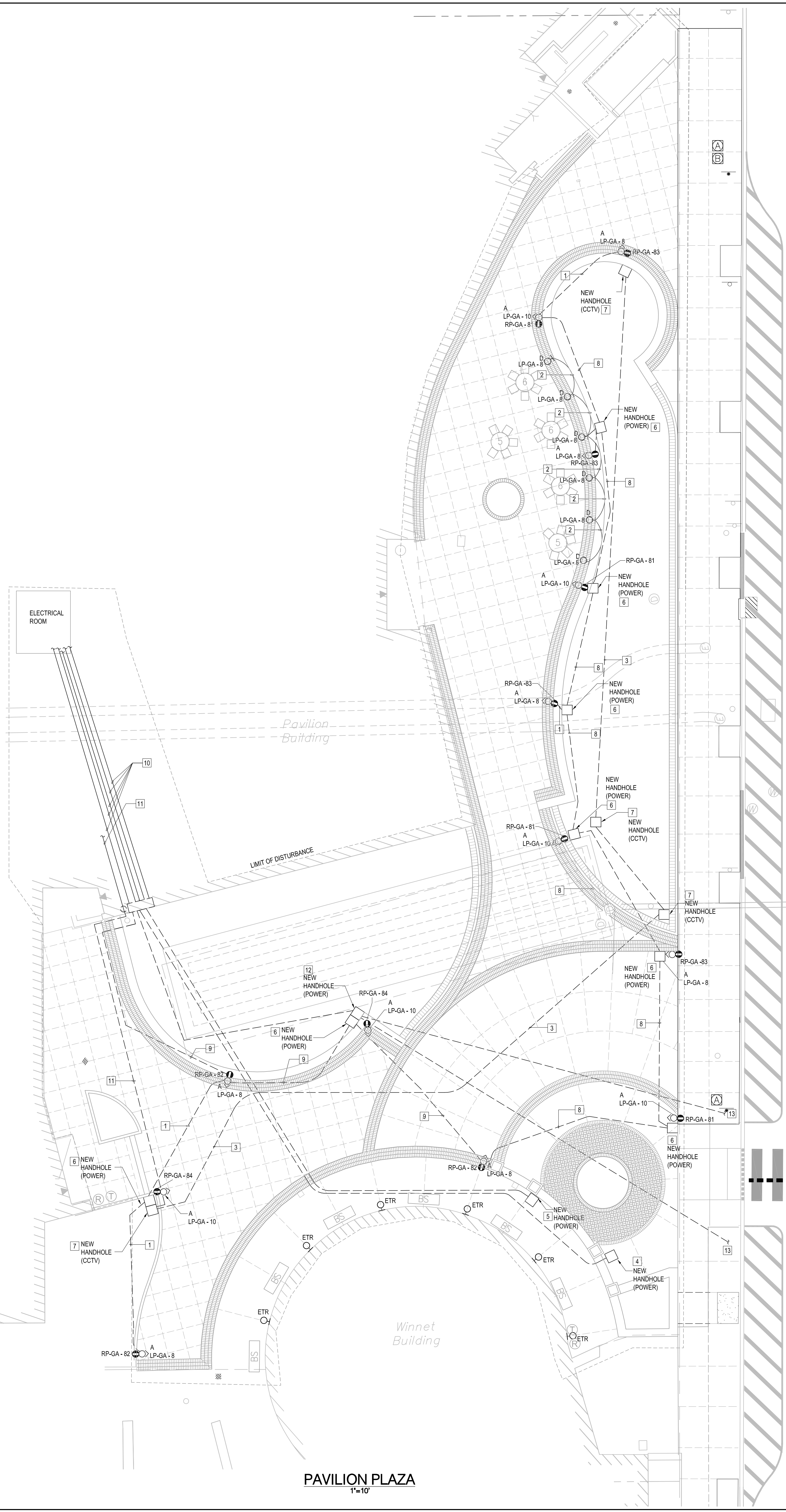
KEY NOTES

1. PROVIDE 1 1/4" - 6#10 (3#10 CONTACTOR CONTROLLED FOR SITE LIGHTING, 3#10 UNSWITCHED FOR POLE BASE RECEPTACLE AND CAMERA POWER SUPPLY.)
2. PROVIDE 3/4" - 3#10 WITHIN SEAT WALL FOR CIRCUITING OF WALL MOUNTED FIXTURES. COORDINATE WITH WALL INSTALLATION.
3. PROVIDE 1" C - WICAT6 CABLE. MAINTAIN 6" MINIMUM SEPARATION DISTANCE BETWEEN POWER CONDUIT AND OTHER UTILITY PIPING, ETC.
4. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUAZITE PC11118A12 FOR POWER WIRING TO FUTURE LIGHTS TO BE EMBEDDED IN CONCRETE. PROVIDE 1" CONDUIT AND PULL WIRE BACK TO ELECTRICAL ROOM IN PAVILION BUILDING FOR FUTURE CIRCUIT.
5. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUAZITE PC11118A12 FOR POWER WIRING TO FUTURE SIGN. SIGN TO BE MOUNTED ON NEW WALL. PROVIDE 1" CONDUIT AND PULL WIRE BACK TO ELECTRICAL ROOM IN PAVILION BUILDING FOR FUTURE CIRCUIT.
6. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUAZITE PC11118A12 FOR POWER WIRING. PROVIDE POWER FEED TO WALL MOUNTED LIGHTS IN SEAT WALL AS INDICATED VIA HANDHOLE.
7. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUAZITE PC11118A12 FOR CAMERA WIRING.
8. PROVIDE 1 1/4" - 12#10 (2#10 CONTACTOR CONTROLLED FOR SITE LIGHTING, 8#10 UNSWITCHED FOR POLE BASE RECEPTACLE AND CAMERA POWER SUPPLY.)
9. PROVIDE 1 1/4" - 18#10 (9#10 CONTACTOR CONTROLLED FOR SITE LIGHTING, 9#10 UNSWITCHED FOR POLE BASE RECEPTACLE AND CAMERA POWER SUPPLY.)
10. ROUTE THE CONDUIT ABOVE THE FINISHED CEILING TO A SURFACE MOUNTED WIREWAY ON THE INTERIOR WALL OF THE BUILDING'S STRUCTURE. SURFACE MOUNT THE CONDUIT ALONG THE WALL - VERTICALLY DOWN TO THE FLOOR SLAB BELOW AND ELBOW OUT FOR ROUTING TO SITE LIGHTING. POLE BASE RECEPTACLES AND CAMERA POWER SUPPLIES. PROVIDE GALVANIZED RIGID CONDUIT TRANSITION AT FOUNDATION WALL/SLAB PENETRATION.
11. ROUTE THE CONDUIT FROM THE GROUND FLOOR IT ROOM AND ABOVE THE FINISHED CEILING TO THE INTERIOR WALL OF THE BUILDING'S STRUCTURE. SURFACE MOUNT THE CONDUIT ALONG THE WALL - VERTICALLY DOWN TO THE FLOOR SLAB BELOW AND ELBOW OUT FOR ROUTING TO SITE LIGHTING. POLE BASE RECEPTACLES AND CAMERA POWER SUPPLIES. PROVIDE GALVANIZED RIGID CONDUIT TRANSITION AT FOUNDATION WALL/SLAB PENETRATION. COORDINATE AND CONFIRM LOCATION WITH OWNER. LEAVE SUFFICIENT CABLE LENGTH AT HANDHOLE AND PATCH PANEL LOCATION FOR FUTURE TERMINATION.
12. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUAZITE PC11118A12 FOR POWER WIRING TO SITE LIGHTING FIXTURES ALONG 17TH STREET. REFER TO DRAWING E102 FOR ADDITIONAL INFORMATION.
13. REFER TO DRAWING E102 FOR CONTINUATION.



17TH STREET
50' Wide (12'-26"-12")
On City Plan / Legally Open
One Way

MATCH LINE



PAVILION PLAZA
1"=10'

BONNELL PLAZA
1"=10'