

December 20, 2013

Addendum No. 1

To Drawings prepared by:

**Stantec
1500 Spring Garden Street
Suite 1100
Philadelphia, PA 19130**

For the Project:

**17th Street Plaza and Streetscape Improvements
RFP No: 9819**

I. INSTRUCTIONS

All Work performed under this Supplement shall be subject to the General Conditions of the Contract in connection with the Project.

II. SUPPLEMENTAL INFORMATION

The following items are supplementary to the Contract Documents and can be found attached.

1. Pre Bid Meeting Attendees
2. Pre Bid Meeting Minutes

III. SPECIFICATIONS

The following items describe modifications to the Specifications. Contractor is directed to add, or remove and replace the notations as indicated, or provide the work described herein.

1. Specification Section 00300A - Milestone Dates
 - a. Replace this document in its entirety with the attached document.
2. Specification Section 00520 –Agreement Between Owner and Contractor (AIA A132 CMA)
 - a. Add the attached to the Contract Documents.
3. Specification Section 01120 Multiple Contract Summary, page 9, General Trades Construction make the following modification:
 13. Delete item 13 in its entirety.
4. Specification Section 01120 Multiple Contract Summary, page 9, General Trades Construction, add the following items:
 17. Contractors must perform the work in phases and cordon off work areas to separate the work from pedestrian traffic. Contractors may use orange construction fencing to isolate the work; cyclone fence panels will not be required. Access to all facilities must be maintained throughout construction. Work at entrances to buildings will need to be performed on off

hours or days when the college is not conducting classes. Commencing May 9, 2014 to August 15, 2014, classes are only in session Monday through Thursday. Work in high pedestrian traffic areas and entrances to buildings will be permitted on the Friday's that classes are not in session.

5. Specification Section 01120 Multiple Contract Summary, page 9, General Trades Construction, add the following items:

18. The Community College of Philadelphia has contracted the General Trades Construction work at the Bonnell Plaza and up to the west side curb of 17th street. The revised drawings in addendum #1 have identified this work as "NIC" not in contract, the NIC work identified on the drawings is NOT part of this contract. This includes the underground conduit, pull boxes, pole bases, etc. for the proposed electrical fixtures in the Bonnell Plaza and street lights on the east side of 17th Street. All work indicated for the Pavilion Plaza up to and including the west side curb of 17th street IS part of this Contract.

19. The General Trades Contractor shall include an allowance of an additional 80 hrs for Journeyman Mason in the base bid for use as directed by the Owner or Construction Manager. This allowance shall be represented as a separate line item on the schedule of values.

20. The General Trades Contractor shall include an allowance of an additional 80 hrs for Mason Tender in the base bid for use as directed by the Owner or Construction Manager. This allowance shall be represented as a separate line item on the schedule of values.

21. The General Trades Contractor shall include an allowance of additional 120 hrs for a General Laborer in the base bid for use as directed by the Owner or Construction Manager. This allowance shall be represented as a separate line item on the schedule of values.

21. The General Trades Contractor shall include an allowance of 100 lf of site wall in accordance with the "typical seat wall at Pavilion Plaza" on C800 in the base bid for use as directed by the Owner and Construction Manager. This allowance includes excavation and removal of spoils from the site as well as the construction of the wall. This allowance shall be represented as a separate line item on the schedule of values.

22. The General Trades Contractor shall include an allowance of 500 sf of existing sidewalk removal and replacement for use as directed by the Owner and Construction Manager. This allowance includes excavation and removal of spoils from the site as well as the construction of the new sidewalk. This allowance shall be represented as a separate line item on the schedule of values.

6. Specification Section 01120 Multiple Contract Summary, Electrical Construction, page 12, add the following items:

16. Contractors must perform the work in phases and cordon off work areas to separate the work from pedestrian traffic. Contractors may use orange construction fencing to isolate the work, cyclone fence panels will not be required. Access to all facilities must be maintained throughout construction. Work at entrances to buildings will need to be performed on off hours or days when the college is not conducting classes. Commencing May 9, 2014 to August 15, 2014, classes are only in session Monday through Thursday. Work in high pedestrian traffic areas and entrances to buildings will be permitted on the Friday's that classes are not in session.

17. The Community College of Philadelphia has contracted the General Trades Construction work at the Bonnell Plaza and up to the west side curb of 17th street. The revised drawings in addendum #1 have identified this work as “NIC” not in contract, the NIC work identified on the drawings is NOT part of this contract. This includes the underground conduit, pull boxes, pole bases, etc. for the proposed electrical fixtures in the Bonnell Plaza and street lights on the east side of 17th Street. All work indicated for the Pavilion Plaza up to and including the west side curb of 17th street IS part of this Contract. The Electrical Contractor is to furnish and install all the wiring, data cabling, final connections and light fixtures proposed for 17th Street, the Pavilion Plaza and the Bonnell Plaza. The conduit, pull boxes and pole bases have been contracted by CCP for the Bonnell Plaza and east side of 17th Street and are NOT part of this contract. All proposed conduit, pole bases, pull boxes etc. indicated for the Pavilion Plaza and West side of 17th Street ARE part of this contract.

18. The Electrical Contractor shall include an allowance of an additional 250 hrs for Journeyman Electrician in the base bid for use as directed by the Owner or Construction Manager. This allowance shall be represented as a separate line item on the schedule of values.

29. The Electrical Contractor shall include an allowance of an additional 40 hrs for General Labor in the base bid for use as directed by the Owner or Construction Manager. This allowance shall be represented as a separate line item on the schedule of values.

IV. DRAWINGS

The following drawings have been revised to indicate the “NIC” or Not in Contract Work for both the General Trades Contractor and Electrical Contractor:

1. C110
2. C200
3. C300
4. C400
5. C600
6. C700
7. L100
8. E100
9. E102

- END OF Addendum #1 -

Community College of Philadelphia

SIGN IN SHEET ---- PRINT LEGIBLY

COMPANY NAME	NAME OF ATTENDEE	EMAIL	ADDRESS	TELEPHONE
Ernest Bock and Sons	Dan Cataline	dcataline@ernestbock.com	2800 Southampton Rd Philadelphia, PA 19154	215-677-2625
LAND-TECH ENTERPRISES	SCOTT TORR	ewalters@landtech enterprises.com	3084 B. BRISTOL RD. WARWINGTON, PA 18976	215-491-1470 x 133 ELLEN WALTERS
Carr + Duff	Brian Cummings	brian@carrduff.com	2100 Byberry Rd. Huntingdon Valley, PA 19106	215-672-4200
Bristol Industrial	Brian Thompson	Squarebizco@comcast. NET		302 322-1100
Bala Electric Corp	Donle Fulgritti	Balaelect@aol.com	1874 Lippincott RD Huntingdon Valley PA 19106	610-664-7395

Community
College
of Philadelphia

SIGN IN SHEET ---- PRINT LEGIBLY

COMPANY NAME	NAME OF ATTENDEE	EMAIL	ADDRESS	TELEPHONE
McGoldrick Electric	Ryan McGoldrick	Ryan McGoldrick@electric.com	12 F. Eagle Rd Havertown, PA 19083	610-789-2910
HYDE ELECTRIC CORP.	KEN FUNK	KENFUNK2 GMAIL.COM	3441 BOWMAN ST. PHILA. PA 19129	(215) 843-8900
WESCOTT ELECTRIC Co.	KRIS BOURQUE	K.BOURQUE@WESCOTT ELECTRIC.COM	Po Box 278 GLEN RIDDLE PA 19037	610 358 1100
Seravalli Inc	Andrew Seravalli	Andrew.Seravalli@Seravalli.com	10059 Sandmeyer Ln Phila, PA 19116	215-969-6500
Ray Angelini, Inc.	Bill Stranahan	WStranahan@RAIServices.com	105 Blackwood - Barnsbury Sewell, NJ 08090	856-228-5566

Community College of Philadelphia

SIGN IN SHEET ---- PRINT LEGIBLY

COMPANY NAME	NAME OF ATTENDEE	EMAIL	ADDRESS	TELEPHONE
Henkels & McCoy	WAYNE SOTTUNG	WSOTTUNG@henkels.com	985 Jolly Road Po Box 950 Blue Bell PA 19422-0900	office 215-283-8092 CEI - 267-246-6773
EAGLE I ELECTRIC	310 POWHATTAN AVE ESSINGTON, PA. 19029 Robert LEON		310 POWHATTAN AVE ESSINGTON PA. 19029	OFFICE # 610-521-7445 FAX 610-521-7466
MARAWO ELECTRIC INC.	Michael MARAWO	MARAWO MPM@ VERIZON.NET	20 Stonehenge Dr Sewell N.J. 08080	856-232-4657 856-232-4807 FAX
Fox ENASE ELECTRIC	Larry WALSH	FOXLCWALSH@AOL	7925 Burnham Ave DNILA. PA 19111	267 303 1174
Scott Contractors Inc.	Matt Musto	mmusto@scottcontractorsinc.com	2939 Felton Rd. Narritown PA 18941	610 278 8666 Fax 610 278 8669

Greenscape Inc Robert Danyzin Robert@greenscape 733 Willow Grove Ave
Wenside PA 215 989 3959

Community College of Philadelphia

SIGN IN SHEET ---- PRINT LEGIBLY

COMPANY NAME	NAME OF ATTENDEE	EMAIL	ADDRESS	TELEPHONE
D'ANGELO BROS. INC.	MICHAEL D'ANGELO	MFD@DBI.CONTRACTORS.COM	3700 S. 26 TH ST. PHILA. PA 19145	215-271-7000
Anthony Biddle Contractors Inc.	Bob King	R.King@Abiddle.com	240 Railroad Ave Ardor PA, 19002	215 646 8172
Smith Construction	Chris Chinnici	cgc@smithconstructioninc.com	3331 Street Rd Bensalem PA 19020	215 639 1900
PATRIOT GROUNDS & SITE	Tam Puhle	tampuhle@cs.com	1087 NEN DEHAVEN ST. W. CONSH. PA. 19428	610-828-9868
EJ ELECTRIC INC	SYLVESTER BOGUL	SYLVESTER.EJELECTRIC@COMCAST.NET	3439 RICHMOND ST Phila PA 19134	215 425 2327

(OVER →)

REYNOLDS CONST

Ed O'Donnell

Eodonnelle@reynoldsconstruction.com

Wayne Pa 215-

Mulhern Elec. Co.

Scott Sergas

scott@mulhernelectric.com

1228 Eckard Ave 572-
Abington PA 19001 1224

THE BEDWELL CO

JOE WEIDLE

MARILYN@BEDWELL.NET

1380 WILMINGTON PK

610-399

Brightline Const

John Shields

Bids@brightlineconstruction.com

WEST CHESTER PA 19380

1610

550 State Rd

Bethlehem, PA

610-357-7394

Bristol

JEROME ROBINSON

ACRISTOL@AOL.COM

302 322 1100

302 322 1199

BAHA HASAN

NESMITH⁺ COMPANY

Administrator@nesmithco.com

215-755-4570

Tom Shields

Gonzalez Electric

tshields@sunlightelectrical.com 215-957-1090 267-488-1936

Don Lynch

NESMITH ELECTRIC

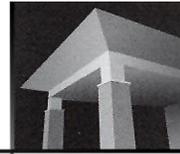
Don@NESMITH-electric.com

215-755-4570

JOHN CANAMANICO JR

CANAMANICO
LANDSCAPE

JOHN@CANAMANICOLANDSCAPE.COM 610 499-1640



Project: **Community College of Philadelphia
17th Street Plaza & Streetscape Improvements**
RCM Project Number: 12-1533
Meeting: Pre-Bid Conference
Meeting Date: December 6, 2013 at 9:00 a.m.

Owner and CM Introductions:

Discussion:

Owner's Remarks:

1. Sign-in Sheets.
2. All questions during the bidding period must be in writing and submitted to William A. Vogel at wvogel@CCP.EDU.
3. All questions will be answered via addendum; verbal responses will not be valid.
4. CCP identified that this phase of the 17th street modifications is part of the CCP master plan which has been developed in conjunction with the Philadelphia Water Department (PWD) Stormwater Management Improvement Plan.
5. CCP also identified that a portion of the hardscaping, landscaping and electrical work has been or will be performed under a separate contract and is not part of this bid. A revised drawing will be issued via addendum identifying the NIC work.

Construction Manager's Remarks:

1. Sealed bids for the 17th Street Plaza and Streetscape Improvements will be received until 10:00 a.m. on Tuesday, January 14, 2014 at the Main Campus at 1700 Spring Garden Street in Philadelphia. All bids will be publicly opened at a location to be determined. All bids shall include one original and one copy in envelopes clearly marked with bidder's name and Prime Contract name and Prime Contract Number. Please mark the name of the project you are bidding (17th Street Plaza & Streetscape Improvements) on the envelope also.
2. This project is being bid under 2 Prime Contracts. The project consists of improvements to the 17th street plaza and streetscape, the phasing is as follows:
 - Masonry Pointing & Repair – March 3, 2014 to March 14, 2014
 - No Work Permitted on Campus – March 17, 2014 – April 11, 2014
 - Commence Streetscape Construction – April 14, 2014
 - Substantial Completion – August 1, 2014
 - Final Completion – August 15, 2014
3. The 2 Prime Contracts held directly by the owner are:
 1. General Trades
 2. Electrical

4. Reynolds Construction Management will be the agency Construction Manager for the project, no on-site representative.
5. Bidding Documents are available:
 - To view and download at no cost on line at RCM's web site
<https://www.ebidexchange.com/reynoldscm>
 - Documents can also be viewed on the Community College of Philadelphia's website at <http://www.ccp.edu/rfp/>.
6. Contractors may visit the site at anytime to view existing conditions on 17th street. If a contractor requires access to an electrical room inside the Pavilion or Bonnell Building the contractor must schedule an appointment. Contractor's may contact Jason Amrich, Project Manager, Reynolds Construction Management, Office: 610.688.6010 x 18, Email: jamrich@reynoldsconstruction.com to make arrangements.
7. Parking for contractor employees is prohibited. No parking will be provided at the project for any construction workers. Contractors are permitted to park in the adjacent parking lots/garages.
8. There will no staging areas available for unloading, storage or laydown. Most materials will need to be staged and scheduled to arrive on site and erected with in a few days of arrival.
9. All bidders are to familiarize themselves with the site and all bidding documents including but limited to, Bidding and Contract Requirements, General Requirements, including but not limited to Multiple Contract Summary and Temporary Utilities and Facilities. Submission of bid acknowledges that bidder has done so.
10. All subcontractors and suppliers should familiarize themselves with the Multiple Contract Summary, found in Specification Section 01120, so they can direct their quotations to the correct prime contractor.
11. Working hours on site shall be from 7:00 AM to 3:30 p.m.
12. Contractors must perform the work in phases and cordon off work areas to separate the work from pedestrian traffic. Contractors may use orange construction fencing to isolate the work, cyclone fence panels will not be required. Access to all facilities must be maintained throughout construction. Work at entrances to buildings will need to be performed on off hours or days when the college is not conducting classes. Commencing May 9, 2014 to August 15, 2014, classes are only in session Monday through Thursday. Work in high pedestrian traffic areas and entrances to buildings will be permitted on the Friday's that classes are not in session.
13. One Original Bid Security, Certified Check or Bid Bond in the amount of 5% of the base bid shall be included with a copy included with each proposal copy.

14. All successful Prime Contractors will be required to provide Performance and Payment Bonds prior to issuances of Contracts. Performance, Payment and Bid Bonds must be submitted on forms provided in the documents. Surety companies must be legally authorized to do business in the Commonwealth of Pennsylvania and must be listed in the latest U.S. Treasury Department Circular 570.
15. Contractors and Subcontractors will be required to submit and maintain insurance in accordance with the General Conditions.
16. Builder's Risk insurance will be carried by the Community College of Philadelphia.
17. Owner will pay for the Building Permit. All other permits will be provided and paid for by the trade requiring the permit.
18. This project is subject to the Pennsylvania Prevailing Wage Act. Certified payrolls will be required on a monthly basis and included with the applications for payment. Wage rates are available on line at WWW.dli.state.pa.us. The project is located in Philadelphia County and the Awarding Agency is the Community College of Philadelphia.
19. Steel and Cast Iron products are subject to the PA's Buy American Acts of 1978 and 1982.
20. The MacBride Principles applicable to all City work as included in attachment F of the Bidding Representations and Certifications of the Project Manual are in effect for this project. Affidavits must be signed by all Prime Contractor following the execution of contracts stating that their firm will abide by those principles.
21. The Community College of Philadelphia is an Equal Opportunity Employer. Federal and State laws prohibit discrimination of a Contractor or Subcontractor in the hiring of an employee.
22. All Contractors are directed to Spec Section 00211 which has the Community College of Philadelphia's Equal Opportunity Clause and Section 00212 – Their Equal Opportunity plan. Both are included as part of the supplemental instructions to bidders. The guidelines of how the plan is to be implemented by each contractor are identified with in these sections. Several Questions were later asked in regards to how MBE/WBE/DBE participation was to be monitored. Contractors are directed to these specification sections.
23. Participation Goals are as follows for the work force make-up on site:
 - A. City of Philadelphia Residence 35%
 - B. Minorities 25%
 - C. Females 10%Note: the goal for disabled workers has been waived.

Participation Goals for Contracts to do Construction:

- A. Minority Owned Businesses 25%
 - B. Female Owned Business 10%
 - C. Disabled Owned Business 2%
24. Request for design interpretations and clarifications must be submitted to the Architect in writing via fax or e-mail no later than five (5) **working days** prior to the receipt of bids. All questions of any type should be directed to William Vogel with the College by email wvogel@ccp.edu.
25. Liquidated damages will be applied to Contractors who are found to be the fault of not meeting major dead lines and milestones. Language pertaining to liquidated damages can be found in Instruction to Bidders page 5 item 16. Mile Stone dates that relate to the completion of the new addition are subject to a liquidated damage clause.
26. Contractors will be responsible for sales tax, consumer and use taxes as required by law. Contractors are directed to the PA Sales and Use Tax Guide or your Accountant to determine which items are taxable / tax-exempt. In general, all items that are not to become a permanent part of real estate are tax-exempt. A sales tax exempt certificate will be issued to each prime contractor to be used for those items that are sales tax exempt.
27. This is a drug free campus. We encourage each Contractor to provide random drug testing for their employees.
28. Illegal Drugs, Fire Arms and Alcohol are prohibited from College property.
29. Upon receipt of a letter of intent to award, Successful bidders will be required to immediately submit Certificates of Insurance coverage (per the bidding documents), and Performance and Payment Bonds. The Performance and Payment Bond Forms are included in Volume one of the Specifications. Note: the minimum insurance requirements will be revised slightly by Addendum 1. All bidders are encouraged to send a copy of these insurance requirements to their insurance carriers for review prior to bid submission. All prime contractors are to include any premium cost associated with raising their insurance limits to meet these minimum standards within their bid proposal base bid price.
30. If a discrepancy arises, with respect to the assigning of responsibility of work, between drawings, specifications and bid package descriptions, the bid packages will prevail.
31. All instructions to the Contractors shall come through the Construction Manager or Architect. Contractors are to refer all change directives received from the College to the Construction Manager prior to making any changes.

Cc: Attendees
File: 209A

MILESTONE DATES

- A. Masonry Pointing & Repair – March 3, 2014 to March 14, 2014
- B. No Work Permitted on Campus – March 17, 2014 – April 11, 2014
- C. Commence Streetscape Construction – April 14, 2014
- D. Substantial Completion August 1, 2014
- E. Final Completion August 15, 2014

SECTION 00520 - AGREEMENT BETWEEN OWNER & CONTRACTOR (AIA A132/CMA)

This is a SAMPLE AIA Document: There is no implied permission to reproduce this document. The original document purchased by the user is intended to be consumed in the course of this project.

This section contains thirteen (13) pages, not including this cover page.



AIA[®] Document A132[™] – 2009

Standard Form of Agreement Between Owner and Contractor, Construction Manager as Adviser Edition

AGREEMENT made as of the _____ day of _____ in the year 2013
(In words, indicate day, month and year.)

BETWEEN the Owner:
(Name, legal status, address and other information)

Community College of Philadelphia
1700 Spring Garden Street
Philadelphia, PA 19130

and the Contractor:
(Name, legal status, address and other information)

for the following Project:
(Name, location and detailed description)

The Project consists of 17th Street Plaza and Streetscape Improvements at Community College of Philadelphia, 1700 Spring Garden Street, Philadelphia, Pennsylvania

The Construction Manager:
(Name, legal status, address and other information)

Reynolds Construction, Inc.
1265 Drummers Lane
Suite 104
Wayne, PA 19087

The Architect:
(Name, legal status, address and other information)

Stantec Consulting Services, Inc.
1500 Spring Garden Street
Suite 1100
Philadelphia, PA 19130

The Owner and Contractor agree as follows.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

This document is intended to be used in conjunction with AIA Documents A232[™]–2009, General Conditions of the Contract for Construction, Construction Manager as Adviser Edition; B132[™]–2009, Standard Form of Agreement Between Owner and Architect, Construction Manager as Adviser Edition; and C132[™]–2009, Standard Form of Agreement Between Owner and Construction Manager as Adviser.

AIA Document A232[™]–2009 is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

Init.

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User Notes:

(1970161251)

TABLE OF ARTICLES

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7	TERMINATION OR SUSPENSION
8	MISCELLANEOUS PROVISIONS
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10	INSURANCE AND BONDS

ARTICLE 1 THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement and Modifications issued after execution of this Agreement, all of which form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreements, either written or oral. An enumeration of the Contract Documents, other than Modifications, appears in Article 9.

ARTICLE 2 THE WORK OF THIS CONTRACT

The Contractor shall fully execute the Work described in the Contract Documents, except as specifically indicated in the Contract Documents to be the responsibility of others.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 The date of commencement of the Work shall be the date of this Agreement unless a different date is stated below or provision is made for the date to be fixed in a notice to proceed issued by the Owner.

(Insert the date of commencement, if it differs from the date of this Agreement or, if applicable, state that the date will be fixed in a notice to proceed.)

The Commencement Date shall be fixed in a notice to proceed. A notice to proceed will be sent to Contractor via email, with a hard copy to follow by overnight delivery.

If, prior to the commencement of the Work, the Owner requires time to file mortgages, mechanics' liens and other security interests, the Owner's time requirement shall be as follows:

§ 3.2 The Contract Time shall be measured from the date of commencement.

~~§ 3.3 The Contractor shall achieve Substantial Completion of the entire Work not later than () days from the date of commencement, or as follows:~~

(Insert number of calendar days. Alternatively, a calendar date may be used when coordinated with the date of commencement. If appropriate, insert requirements for earlier Substantial Completion of certain portions of the Work.)

Portion of the Work

Substantial Completion Date

, subject to adjustments of this Contract Time as provided in the Contract Documents.
(Insert provisions, if any, for liquidated damages relating to failure to achieve Substantial Completion on time or for bonus payments for early completion of the Work.)

Time is of the essence and Contractor shall be liable for the sum of \$5,000 per day for each day of delay in achieving Substantial Completion beyond the Substantial Completion date set forth above. Such amount shall be assessed against Contractor as liquidated damages, not as a penalty

ARTICLE 4 CONTRACT SUM

§ 4.1 The Owner shall pay the Contractor the Contract Sum in current funds for the Contractor’s performance of the Contract. The Contract Sum shall be one of the following:
(Check the appropriate box.)

- [X] Stipulated Sum, in accordance with Section 4.2 below
[] Cost of the Work plus the Contractor’s Fee without a Guaranteed Maximum Price, in accordance with Section 4.3 below
[] Cost of the Work plus the Contractor’s Fee with a Guaranteed Maximum Price, in accordance with Section 4.4 below

(Based on the selection above, complete Section 4.2, 4.3 or 4.4 below. Based on the selection above, also complete either Section 5.1.4, 5.1.5 or 5.1.6 below.)

§ 4.2 Stipulated Sum

§ 4.2.1 The Stipulated Sum shall be (\$), subject to additions and deletions as provided in the Contract Documents.

§ 4.2.2 The Stipulated Sum is based on the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:

(State the numbers or other identification of accepted alternates. If the bidding or proposal documents permit the Owner to accept other alternates subsequent to the execution of this Agreement, attach a schedule of such other alternates showing the amount for each and the date when that amount expires.)

§ 4.2.3 Unit prices, if any:

(Identify and state the unit price, and state the quantity limitations, if any, to which the unit price will be applicable.)

Table with 3 columns: Item, Units and Limitations, Price per Unit (\$0.00)

§ 4.2.4 Allowances included in the Stipulated Sum, if any:

(Identify allowance and state exclusions, if any, from the allowance price.)

Table with 2 columns: Item, Allowance

§ 4.3 Cost of the Work Plus Contractor’s Fee without a Guaranteed Maximum Price

§ 4.3.1 The Contract Sum is the Cost of the Work as defined in Exhibit A, Determination of the Cost of the Work, plus the Contractor’s Fee.

~~§ 4.3.2 The Contractor's Fee:
(State a lump sum, percentage of Cost of the Work or other provision for determining the Contractor's Fee.)~~

~~§ 4.3.3 The method of adjustment of the Contractor's Fee for changes in the Work:~~

~~§ 4.3.4 Limitations, if any, on a Subcontractor's overhead and profit for increases in the cost of its portion of the Work:~~

~~§ 4.3.5 Rental rates for Contractor-owned equipment shall not exceed _____ percent (____%) of the standard rate paid at the place of the Project.~~

~~§ 4.3.6 Unit prices, if any:
(Identify and state the unit price; state quantity limitations, if any, to which the unit price will be applicable.)~~

Item	Units and Limitations	Price per Unit (\$0.00)
-----------------	----------------------------------	------------------------------------

~~§ 4.3.7 The Contractor shall prepare and submit to the Construction Manager for the Owner, in writing, a Control Estimate within 14 days of executing this Agreement. The Control Estimate shall include the items in Section A.1 of Exhibit A, Determination of the Cost of the Work.~~

~~§ 4.4 Cost of the Work Plus Contractor's Fee with a Guaranteed Maximum Price~~

~~§ 4.4.1 The Contract Sum is the Cost of the Work as defined in Exhibit A, Determination of the Cost of the Work, plus the Contractor's Fee.~~

~~§ 4.4.2 The Contractor's Fee:
(State a lump sum, percentage of Cost of the Work or other provision for determining the Contractor's Fee.)~~

~~§ 4.4.3 The method of adjustment of the Contractor's Fee for changes in the Work:~~

~~§ 4.4.4 Limitations, if any, on a Subcontractor's overhead and profit for increases in the cost of its portion of the Work:~~

~~§ 4.4.5 Rental rates for Contractor-owned equipment shall not exceed _____ percent (____%) of the standard rate paid at the place of the Project.~~

~~§ 4.4.6 Unit Prices, if any:
(Identify and state the unit price, and state the quantity limitations, if any, to which the unit price will be applicable.)~~

Item	Units and Limitations	Price per Unit (\$0.00)
-----------------	----------------------------------	------------------------------------

~~§ 4.4.7 Guaranteed Maximum Price~~

~~§ 4.4.7.1 The sum of the Cost of the Work and the Contractor's Fee is guaranteed by the Contractor not to exceed _____ (\$ _____), subject to additions and deductions by changes in the Work as provided in the Contract Documents. Such maximum sum is referred to in the Contract Documents as the Guaranteed Maximum Price. Costs which would cause~~

~~the Guaranteed Maximum Price to be exceeded shall be paid by the Contractor without reimbursement by the Owner.~~

(Insert specific provisions if the Contractor is to participate in any savings.)

~~§ 4.4.7.2 The Guaranteed Maximum Price is based on the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:~~

~~§ 4.4.7.3 Allowances included in the Guaranteed Maximum Price, if any:
(Identify and state the amounts of any allowances, and state whether they include labor, materials, or both.)~~

Item

Allowance

~~§ 4.4.7.4 Assumptions, if any, on which the Guaranteed Maximum Price is based:~~

ARTICLE 5 PAYMENTS

§ 5.1 Progress Payments

§ 5.1.1 Based upon Applications for Payment submitted to the Construction Manager by the Contractor, and upon certification of the Project Application and Project Certificate for Payment or Application for Payment and Certificate for Payment by the Construction Manager and Architect and issuance by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided below and elsewhere in the Contract Documents.

§ 5.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the month, or as follows:

§ 5.1.3 Provided that an Application for Payment is received by the Construction Manager and approved for payment and submitted with a Certificate for Payment to the Owner not later than the 20th day of a month, the Owner shall make payment of the certified amount in the Application for Payment to the Contractor not later than the 20th day of the next month. If an Application for Payment is received by the Construction Manager and approved for payment and submitted with a Certificate of Payment to the Owner after the application date fixed above, payment shall be made by the Owner not later than () days after the Construction Manager receives the Application for Payment. thirty (30) days after Owner receives the Application for Payment and Certification for Payment from the Construction Manager.

(Federal, state or local laws may require payment within a certain period of time.)

§ 5.1.4 Progress Payments Where the Contract Sum is Based on a Stipulated Sum

§ 5.1.4.1 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work and be prepared in such form and supported by such data to substantiate its accuracy as the Construction Manager and Architect may require. This schedule, unless objected to by the Construction Manager or Architect, shall be used as a basis for reviewing the Contractor's Applications for Payment.

§ 5.1.4.2 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.

§ 5.1.4.3 Subject to the provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:

- .1 Take that portion of the Contract Sum properly allocable to completed Work as determined by multiplying the percentage completion of each portion of the Work by the share of the total Contract

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- Sum allocated to that portion of the Work in the schedule of values, less retainage of ten percent (10 %). Pending final determination of cost to the Owner of changes in the Work, amounts not in dispute may be included as provided in Section 7.3.9 of the General Conditions;
- .2 Add that portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction (or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing), less retainage of ten percent (10 %);
 - .3 Subtract the aggregate of previous payments made by the Owner; and
 - .4 Subtract amounts, if any, for which the Construction Manager or Architect has withheld or nullified a Certificate for Payment as provided in Section 9.5 of the General Conditions.

§ 5.1.4.4 The progress payment amount determined in accordance with Section 5.1.4.3 shall be further modified under the following circumstances:

- .1 Add, upon Substantial Completion of the Work, a sum sufficient to increase the total payments to one hundred percent (100 %) of the Contract Sum, less such amounts as the Construction Manager recommends and the Architect determines for incomplete ~~Work-Work~~, ten percent (10%) retainage applicable to such work and unsettled claims; and
- .2 Add, if final completion of the Work is thereafter materially delayed through no fault of the Contractor, any additional amounts payable in accordance with Section 9.10.3 of the General Conditions.

§ 5.1.4.5 Reduction or limitation of retainage, if any, shall be as follows:

(If it is intended, prior to Substantial Completion of the entire Work, to reduce or limit the retainage resulting from the percentages inserted in Sections 5.1.4.3.1 and 5.1.4.3.2 above, and this is not explained elsewhere in the Contract Documents, insert here provisions for such reduction or limitation.)

The provisions for retainage reduction shall be in accordance with THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.

~~§ 5.1.5 Progress Payments Where the Contract Sum is Based on the Cost of the Work without a Guaranteed Maximum Price~~

~~§ 5.1.5.1 With each Application for Payment, the Contractor shall submit the cost control information required in Exhibit A, Determination of the Cost of the Work, along with payrolls, petty cash accounts, receipted invoices or invoices with check vouchers attached and any other evidence required by the Owner, Construction Manager or Architect to demonstrate that cash disbursements already made by the Contractor on account of the Cost of the Work equal or exceed (1) progress payments already received by the Contractor; less (2) that portion of those payments attributable to the Contractor's Fee; plus (3) payrolls for the period covered by the present Application for Payment.~~

~~§ 5.1.5.2 Applications for Payment shall show the Cost of the Work actually incurred by the Contractor through the end of the period covered by the Application for Payment and for which the Contractor has made or intends to make actual payment prior to the next Application for Payment.~~

~~§ 5.1.5.3 Subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:~~

- ~~.1 Take the Cost of the Work as described in Exhibit A, Determination of the Cost of the Work;~~
- ~~.2 Add the Contractor's Fee, less retainage of — percent (— %). The Contractor's Fee shall be computed upon the Cost of the Work described in that Section at the rate stated in that Section; or if the Contractor's Fee is stated as a fixed sum, an amount which bears the same ratio to that fixed sum Fee as the Cost of the Work bears to a reasonable estimate of the probable Cost of the Work upon its completion;~~
- ~~.3 Subtract retainage of — percent (— %) from that portion of the Work that the Contractor self performs;~~
- ~~.4 Subtract the aggregate of previous payments made by the Owner;~~
- ~~.5 Subtract the shortfall, if any, indicated by the Contractor in the documentation required by Article 5 or resulting from errors subsequently discovered by the Owner's auditors in such documentation; and~~
- ~~.6 Subtract amounts, if any, for which the Construction Manager or Architect has withheld or withdrawn a Certificate for Payment as provided in Section 9.5 of AIA Document A232™ 2009, General Conditions of the Contract for Construction, Construction Manager as Adviser Edition.~~

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~~§ 5.1.5.4 The Owner, Construction Manager and Contractor shall agree upon (1) a mutually acceptable procedure for review and approval of payments to Subcontractors and (2) the percentage of retainage held on Subcontracts, and the Contractor shall execute subcontracts in accordance with those agreements.~~

~~§ 5.1.5.5 In taking action on the Contractor's Applications for Payment, the Construction Manager and Architect shall be entitled to rely on the accuracy and completeness of the information furnished by the Contractor and shall not be deemed to represent that the Construction Manager and Architect have made a detailed examination, audit or arithmetic verification of the documentation submitted in accordance with Article 5 or other supporting data; that the Construction Manager and Architect have made exhaustive or continuous on-site inspections; or that the Construction Manager and Architect have made examinations to ascertain how or for what purposes the Contractor has used amounts previously paid on account of the Contract. Such examinations, audits and verifications, if required by the Owner, will be performed by the Owner's auditors acting in the sole interest of the Owner.~~

~~§ 5.1.5.6 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.~~

~~**§ 5.1.6 Progress Payments Where the Contract Sum is Based on the Cost of the Work with a Guaranteed Maximum Price**~~

~~§ 5.1.6.1 With each Application for Payment, the Contractor shall submit payrolls, petty cash accounts, receipted invoices or invoices with check vouchers attached, and any other evidence required by the Owner or Architect to demonstrate that cash disbursements already made by the Contractor on account of the Cost of the Work equal or exceed (1) progress payments already received by the Contractor; less (2) that portion of those payments attributable to the Contractor's Fee; plus (3) payrolls for the period covered by the present Application for Payment.~~

~~§ 5.1.6.2 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work and be prepared in such form and supported by such data to substantiate its accuracy as the Construction Manager and Architect may require. This schedule, unless objected to by the Construction Manager or Architect, shall be used as a basis for reviewing the Contractor's Applications for Payment.~~

~~§ 5.1.6.3 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment. The percentage of completion shall be the lesser of (1) the percentage of that portion of the Work which has actually been completed; or (2) the percentage obtained by dividing (a) the expense that has actually been incurred by the Contractor on account of that portion of the Work for which the Contractor has made or intends to make actual payment prior to the next Application for Payment by (b) the share of the Guaranteed Maximum Price allocated to that portion of the Work in the schedule of values.~~

~~§ 5.1.6.4 Subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:~~

- ~~.1 Take that portion of the Guaranteed Maximum Price properly allocable to completed Work as determined by multiplying the percentage of completion of each portion of the Work by the share of the Guaranteed Maximum Price allocated to that portion of the Work in the schedule of values. Pending final determination of cost to the Owner of changes in the Work, amounts not in dispute shall be included as provided in Section 7.3.10 of AIA Document A232-2009;~~
- ~~.2 Add that portion of the Guaranteed Maximum Price properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the Work, or if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing;~~
- ~~.3 Add the Contractor's Fee, less retainage of — percent (—%). The Contractor's Fee shall be computed upon the Cost of the Work at the rate stated in Section 4.4.2 or, if the Contractor's Fee is stated as a fixed sum in that Section, shall be an amount that bears the same ratio to that fixed sum fee as the Cost of the Work bears to a reasonable estimate of the probable Cost of the Work upon its completion;~~
- ~~.4 Subtract retainage of — percent (—%) from that portion of the Work that the Contractor self performs;~~
- ~~.5 Subtract the aggregate of previous payments made by the Owner;~~

Init.

- ~~.6 Subtract the shortfall, if any, indicated by the Contractor in the documentation required by Section 5.1.6.1 to substantiate prior Applications for Payment, or resulting from errors subsequently discovered by the Owner's auditors in such documentation; and~~
- ~~.7 Subtract amounts, if any, for which the Construction Manager or Architect have withheld or nullified a Certificate for Payment as provided in Section 9.5 of AIA Document A232-2009.~~

~~§ 5.1.6.5 The Owner and the Contractor shall agree upon a (1) mutually acceptable procedure for review and approval of payments to Subcontractors and (2) the percentage of retainage held on Subcontracts, and the Contractor shall execute subcontracts in accordance with those agreements.~~

~~§ 5.1.6.6 In taking action on the Contractor's Applications for Payment, the Construction Manager and Architect shall be entitled to rely on the accuracy and completeness of the information furnished by the Contractor and shall not be deemed to represent that the Construction Manager or Architect have made a detailed examination, audit or arithmetic verification of the documentation submitted in accordance with Section 5.1.6.1 or other supporting data; that the Construction Manager or Architect have made exhaustive or continuous on-site inspections; or that the Construction Manager or Architect have made examinations to ascertain how or for what purposes the Contractor has used amounts previously paid on account of the Contract. Such examinations, audits and verifications, if required by the Owner, will be performed by the Owner's auditors acting in the sole interest of the Owner.~~

~~§ 5.1.6.7 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.~~

§ 5.2 Final Payment

§ 5.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor ~~when within thirty (30) days after:~~

- ~~.1 the Contractor has fully performed the Contract except for the Contractor's responsibility to correct Work as provided in Section 12.2 of AIA Document A232-2009, and to satisfy other requirements, if any, which extend beyond final payment; Contract;~~
- ~~.2 the Contractor has submitted a final accounting for the Cost of the Work, pursuant to Exhibit A, Determination of the Cost of the Work when payment is on the basis of the Cost of the Work, with or without a Guaranteed Maximum payment; and~~
- ~~.3 a final Certificate for Payment or Project Certificate for Payment has been issued by the Architect; such final payment shall be made by the Owner not more than 30 days after the issuance of the final Certificate for Payment or Project Certificate for Payment, or as follows: Architect.;~~

ARTICLE 6 DISPUTE RESOLUTION

§ 6.1 Initial Decision Maker

The Architect will serve as Initial Decision Maker pursuant to Section 15.2 of AIA Document A232-2009, unless the parties appoint below another individual, not a party to this Agreement, to serve as Initial Decision Maker.

(If the parties mutually agree, insert the name, address and other contact information of the Initial Decision Maker, if other than the Architect.)

§ 6.2 Binding Dispute Resolution

For any Claim subject to, but not resolved by, mediation pursuant to Section 15.3 of AIA Document A232-2009, the method of binding dispute resolution shall be as follows:

(Check the appropriate box. If the Owner and Contractor do not select a method of binding dispute resolution below, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, Claims will be resolved by litigation in a court of competent jurisdiction.)

Arbitration pursuant to Section 15.4 of AIA Document A232-2009.

Litigation in a court of competent jurisdiction.

Init.

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User Notes:

(1970161251)

[] Other: (Specify)

ARTICLE 7 TERMINATION OR SUSPENSION

§ 7.1 Where the Contract Sum is a Stipulated Sum

§ 7.1.1 The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A232–2009.

§ 7.1.2 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A232–2009.

§ 7.2 Where the Contract Sum is Based on the Cost of the Work with or without a Guaranteed Maximum Price

§ 7.2.1 Subject to the provisions of Section 7.2.2 below, the Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A232–2009.

§ 7.2.2 The Contract may be terminated by the Owner for cause as provided in Article 14 of AIA Document A232–2009; however, the Owner shall then only pay the Contractor an amount calculated as follows:

- .1 Take the Cost of the Work incurred by the Contractor to the date of termination;
- .2 Add the Contractor's Fee computed upon the Cost of the Work to the date of termination at the rate stated in Sections 4.3.2 or 4.4.2, as applicable, or, if the Contractor's Fee is stated as a fixed sum, an amount that bears the same ratio to that fixed-sum Fee as the Cost of the Work at the time of termination bears to a reasonable estimate of the probable Cost of the Work upon its completion; and
- .3 Subtract the aggregate of previous payments made by the Owner.

§ 7.2.3 If the Owner terminates the Contract for cause when the Contract Sum is based on the Cost of the Work with a Guaranteed Maximum Price, and as provided in Article 14 of AIA Document A232–2009, the amount, if any, to be paid to the Contractor under Section 14.2.4 of AIA Document A232–2009 shall not cause the Guaranteed Maximum Price to be exceeded, nor shall it exceed the amount calculated in Section 7.2.2.

§ 7.2.4 The Owner shall also pay the Contractor fair compensation, either by purchase or rental at the election of the Owner, for any equipment owned by the Contractor that the Owner elects to retain and that is not otherwise included in the Cost of the Work under Section 7.2.1. To the extent that the Owner elects to take legal assignment of subcontracts and purchase orders (including rental agreements), the Contractor shall, as a condition of receiving the payments referred to in this Article 7, execute and deliver all such papers and take all such steps, including the legal assignment of such subcontracts and other contractual rights of the Contractor, as the Owner may require for the purpose of fully vesting in the Owner the rights and benefits of the Contractor under such subcontracts or purchase orders.

§ 7.2.5 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A232–2009; in such case, the Contract Sum and Contract Time shall be increased as provided in Section 14.3.2 of AIA Document A232–2009, except that the term 'profit' shall be understood to mean the Contractor's Fee as described in Sections 4.3.2 and 4.4.2 of this Agreement.

ARTICLE 8 MISCELLANEOUS PROVISIONS

§ 8.1 Where reference is made in this Agreement to a provision of AIA Document A232–2009 or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

§ 8.2 Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located. (Insert rate of interest agreed upon, if any.)

| one % per annum

§ 8.3 The Owner's representative:
(Name, address and other information)

Init.

Gary Bixby
Director of Facilities, Planning & Construction Management
1700 Spring Garden Street
Philadelphia, PA 19130

§ 8.4 The Contractor's representative:
(Name, address and other information)

§ 8.5 Neither the Owner's nor the Contractor's representative shall be changed without ten days written notice to the other party.

§ 8.6 Other provisions:

ARTICLE 9 ENUMERATION OF CONTRACT DOCUMENTS

§ 9.1 The Contract Documents, except for Modifications issued after execution of this Agreement, are enumerated in the sections below.

§ 9.1.1 The Agreement is this executed AIA Document A132–2009, Standard Form of Agreement Between Owner and Contractor, Construction Manager as Adviser Edition.

§ 9.1.2 The General Conditions are, AIA Document A232–2009, General Conditions of the Contract for Construction, Construction Manager as Adviser Edition.

§ 9.1.3 The Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
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§ 9.1.4 The Specifications:
(Either list the Specifications here or refer to an exhibit attached to this Agreement.)

Table of Contents– Exhibit "A"

Section	Title	Date	Pages
---------	-------	------	-------

§ 9.1.5 The Drawings:
(Either list the Drawings here or refer to an exhibit attached to this Agreement.)

List of Drawings – Exhibit "B"

Number	Title	Date
--------	-------	------

§ 9.1.6 The Addenda, if any:

Init.

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User Notes:

(1970161251)

Number

Date

Pages

Portions of Addenda relating to bidding requirements are not part of the Contract Documents unless the bidding requirements are also enumerated in this Article 9.

§ 9.1.7 Additional documents, if any, forming part of the Contract Documents are:

- ~~1 AIA Document A132™ 2009, Exhibit A, Determination of the Cost of the Work, if applicable.~~
- ~~2 AIA Document E201™ 2007, Digital Data Protocol Exhibit, if completed, or the following:~~

- ~~3 AIA Document E202™ 2008, Building Information Modeling Protocol Exhibit, if completed, or the following:~~

- 4 Other documents, if any, listed below:
(List here any additional documents which are intended to form part of the Contract Documents. AIA Document A232–2009 provides that bidding requirements such as advertisement or invitation to bid, Instructions to Bidders, sample forms and the Contractor’s bid are not part of the Contract Documents unless enumerated in this Agreement. They should be listed here only if intended to be part of the Contract Documents.)

Summary of Work – Exhibit "C"

Prevailing Wages Project Rates – Exhibit "D"

Equal Opportunity Plan – Exhibit "E"

Contractor’s bid dated _____

Contractors Performance Bond and Payment Bond

ARTICLE 10 INSURANCE AND BONDS

The Contractor shall purchase and maintain insurance and provide bonds as set forth in Article 11 of AIA Document A232–2009.

(State bonding requirements, if any, and limits of liability for insurance required in Article 11 of AIA Document A232–2009.)

Type of Insurance or Bond

Limit of Liability or Bond Amount (\$0.00)

Init.

This Agreement is entered into as of the day and year first written above.

OWNER (Signature)

CONTRACTOR (Signature)

| Community College of Philadelphia
(Printed name and title)

(Printed name and title)



Init.

Certification of Document's Authenticity

AIA® Document D401™ – 2003

I, Christie Bowman, hereby certify, to the best of my knowledge, information and belief, that I created the attached final document simultaneously with this certification at 10:55:44 on 12/10/2013 under Order No. 1332589240_1 from AIA Contract Documents software and that in preparing the attached final document I made no changes to the original text of AIA® Document A132™ – 2009, Standard Form of Agreement Between Owner and Contractor, Construction Manager as Adviser Edition, as published by the AIA in its software, other than changes shown in the attached final document by underscoring added text and striking over deleted text.

(Signed)

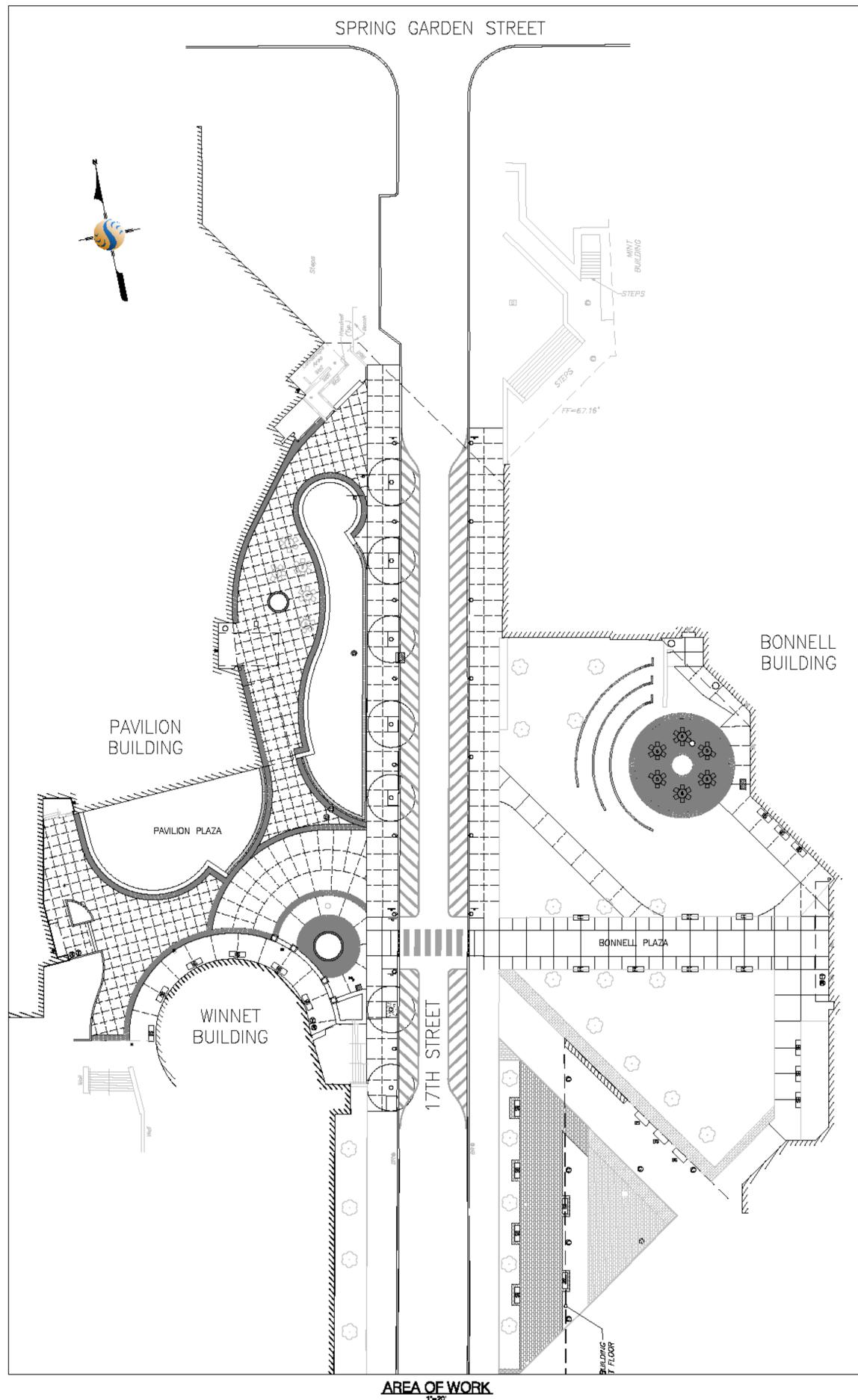
(Title)

(Dated)

PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS

COMMUNITY COLLEGE OF PHILADELPHIA

17TH STREET AND SPRING GARDEN STREET
PHILADELPHIA, PENNSYLVANIA



DRAWING INDEX:

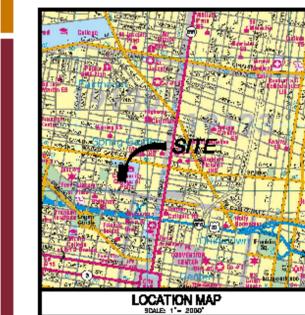
SHEET TITLE	NO.	SHEET
COVER SHEET	G001	1 OF 14
17TH STREET IMPROVEMENT PLAN	C110	2 OF 14
MODIFIED EXISTING CONDITIONS & DEMOLITION PLAN	G200	3 OF 14
EROSION & SEDIMENT CONTROL PLAN	G300	4 OF 14
SITE LAYOUT & MATERIALS PLAN	C400	5 OF 14
GRADING PLAN	C800	6 OF 14
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CIVIL & LANDSCAPE CONSTRUCTION DETAILS	C800	8 OF 14
CIVIL & LANDSCAPE CONSTRUCTION DETAILS	C801	9 OF 14
LANDSCAPE PLAN	L100	10 OF 14
ELECTRICAL & SITE LIGHTING PLAN BONNELL PLAZA	E100	11 OF 14
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17TH STREET LIGHTING & ELECTRICAL PLAN	E102	13 OF 14
ELECTRICAL & SITE LIGHTING PLAN PAVILION PLAZA	E103	14 OF 14

Stantec Consulting Services Inc.
1500 Spring Garden Suite 1100
Philadelphia PA 19130
Tel: 215.865.7000
Fax: 215.865.7001
www.stantec.com



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Notes



NO.	DESCRIPTION	DATE	BY	APP'D.
1	ISSUED FOR CONSTRUCTION	1.11.04	OPN	MJC
2	CHILLED WATER MAINS PER 8/2/1998 PLAN	1.10.05	OPN	MJC
3	CONSTRUCTION SET	1.10.18	OPN	MJC
4	ISSUED FOR OWNER REVIEW	1.08.20	WMC	MJC
5	SUBMISSION FOR STREETS DEPARTMENT REVIEW	1.08.20	OPN	MJC
6	SUBMISSION FOR OWNER'S APPROVAL	1.25.11	OPN	MJC
7	SUBMISSION TO DEP FOR BONNELL PLAZA CONSTRUCTION	1.25.11	OPN	MJC
8	ISSUED	11.04.20	BY	APP'D.

FILE NAME	LDL	MJC	LDL
DATE	CHKD	DESN	DATE
177901252-g001.dwg			13.02.04
			11.04.20

Printed On:

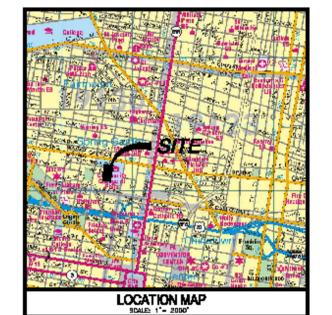
Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
COVER SHEET

Project No.	Scale	
177901252	1"=20'	
Drawing No.	Sheet	Revision
G001	1 of 14	0

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN FEET AND INCHES. PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT No. 287, UTILITY COMPANIES HAVE ASSIGNED SERIAL #'S 2009-482, 2009-483, 2009-507, TO THIS LOCATION BY HUNT ENGINEERING & SERIAL #'S 201217902-46, 201217902-47 BY STANTEC CONSULTING SERVICES INC.

Notes



GENERAL NOTES
1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, TRAFFIC SIGNALS, STREET LIGHTS, PAVEMENT MARKINGS, TRAFFIC SIGNS AND SIGN POSTS DURING CONSTRUCTION. IF SPECIFIED, THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES AND CATCHES TO GRADE.
2. CONTRACTOR TO ADAPT ALL EXISTING UTILITIES AND CATCHES TO GRADE.
3. BENCHMARK AS SHOWN ON PLAN.

SITE IMPROVEMENT NOTES
1. ALL WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS AND REGULATIONS OF THE DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, FAIRHART PARK COMMISSION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) DISTRICT 8-0. PLANS SHALL BE IN ACCORDANCE WITH PENNSYLVANIA ACT 121 (2006), AS AMENDED. THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-243-1776, AT LEAST 3 WORKING DAYS PRIOR TO COMMENCING WORK. PENNSYLVANIA ONE CALL SYSTEM SHALL BE CONTACTED PRIOR TO THE START OF SUCH WORK.
2. HORIZONTAL AND VERTICAL CONTROL LINE AND GRADE STAKES FOR CURB, PAVEMENT, ETC. SHALL BE FURNISHED BY THE CITY OF PHILADELPHIA. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE STAKES PRIOR TO THE START OF SUCH WORK. THIS ITEM, INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
3. THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR PAVING AND RELATED WORK. TO BE PAID UNDER ITEM #4-1041 AT A COST OF \$150.00/DAY. THE CONTRACTOR SHALL CONTACT THE INSPECTION SERVICES DIVISION OF THE HIGHWAY DIVISION UNIT AT 1-215-685-5506 A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. THIS ITEM, INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
4. IN ACCORDANCE WITH CITY ORDINANCES, ADDITIONAL UTILITIES MAY EXIST IN THE VICINITY OF THE SITE WHICH HAVE NOT BEEN SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
5. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND INTERFERENCES TO THE OWNER OR ENGINEER PRIOR TO THE START OF CONSTRUCTION.
6. ALL DIMENSIONS SHOWN ON PLAN ARE IN PHILADELPHIA DISTRICT STANDARD UNLESS OTHERWISE NOTED. CURB ELEVATIONS SHALL BE PHILADELPHIA CITY DATUM.
7. SUBJECT PREMISES IS NOT IN A FLOOD HAZARD AREA.
8. CONTRACTOR SHALL ADJUST MANHOLE LIDS, INLET GRATES, VALVE BOXES, ELEVATIONS SHOWN ON PLAN AND PHILADELPHIA CITY DATUM.
9. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
10. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
11. SITE CLEANING SHALL INCLUDE THE REMOVAL AND PROPER DISPOSAL OF ALL EXISTING MATERIALS AND DEBRIS. ALL EXISTING MATERIALS AND DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED WITHIN THE DEVELOPMENT AREA AND NOT INTENDED TO BE REUSED. THE PROPER DISPOSAL SHALL INCLUDE ALL FEES ASSOCIATED WITH SUCH OPERATION.
12. ALL EXISTING SITE IMPROVEMENTS AND UTILITIES WITHIN LIMIT OF WORK SHALL REMAIN UNLESS NOTED OTHERWISE.

PHILADELPHIA PARKS & RECREATION NOTES
1. A PERMIT IS REQUIRED FOR THE PLANTING AND PRUNING OF STREET TREES.
2. ANY CONTRACTOR PERFORMING TREE WORK MUST BE APPROVED BY THE PARKS AND RECREATION DEPARTMENT AND PROVIDE THEIR CERTIFICATE OF INSURANCE.
3. PRIOR TO PLANTING, THE CONTRACTOR MUST PROVIDE FOR APPROVAL. A LIST OF THE SPECIES AND THE SIZES OF THE TREES TO A PARKS AND RECREATION DEPARTMENT APPROVED. COORDINATE WITH FRANCES PILLET, STREET TREE DIVISION MANAGER AT 215-685-4360 OR VIA EMAIL AT FRANCES.PILLET@PHILA.GOV.
4. THE CONTRACTOR MUST CONTACT A PARKS AND RECREATION DEPARTMENT APPROVED FOR APPROVAL OF TREE AND TREE PIT LOCATIONS PRIOR TO PLANTING. COORDINATE WITH FRANCES PILLET, STREET TREE DIVISION MANAGER AT 215-685-4360 OR VIA EMAIL AT FRANCES.PILLET@PHILA.GOV.

7 ISSUED FOR CONSTRUCTION

ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	CPI	MJC	13.12.04
2-0030	Concrete Footway Paving (With Aggregate Base)	566	SY			13.10.25
2-0091	Concrete Curb	97	LF			13.10.18
4-1040	Engineering Survey Services	1	EA			13.08.30
4-1041	Inspection Services	1	EA			13.05.31
6-0038	Footway Removal	566	SY			13.05.31
6-0037	Curb Removal	97	LF			13.05.31
7-0050	Gaw-cutting	97	LF			13.05.31
8-1004	Suppawave Binder Course, 64-22PG, Variable Depth	13.25	SY			13.05.31
8-1001	Suppawave Wearing Course, 64-22PG, 1-1/2" Depth SRL-H, Type A	13.25	SY			13.05.31
10-0030	8" Subbase	21.55	SY			13.05.31
10-0030	2A Stone	50	TN			13.05.31
20-0701	Traffic Sign	39	SF			13.05.31
20-1750	Traffic Sign Post	4	EA			13.05.31
20-0030	Pavement Markings	1146	LF			13.05.31
20-1750	Pavement Marking Removal	616	SF			13.05.31

File Name: 177901253-c110.dwg
Date: 2013.02.04
Dwg. Chkd. Degr. 11.MJD

Plan-Scale

Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
17TH STREET IMPROVEMENT PLAN

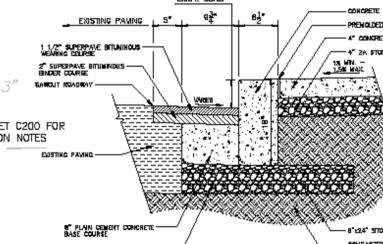
Project No. 177901252
Drawing No. C110
Scale AS NOTED
Sheet 2 of 14
Revision 0

LEGEND - EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BUILDING
- BITUMINOUS PAVEMENT
- CONCRETE
- DEPRESSED CURB
- CURB
- CURB INLET
- GRATE INLET
- DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER MANHOLE
- BASE VALVE
- BOLLARD
- TELECOMMUNICATIONS MANHOLE
- TELECOMMUNICATIONS JUNCTION BOX
- UTILITY POLE
- ELECTRIC MANHOLE
- SANITARY MANHOLE
- CLEAN OUT
- PARKING METER
- SIGN
- POST ELEVATION
- BELGIAN BLOCK PAVEMENT

LEGEND - PROPOSED FEATURES

- PROPOSED TREE PIT
- PAVEMENT STRIPING
- CONCRETE CURB
- PROPOSED PEDESTRIAN SCALE LIGHT
- CONCRETE SIDEWALK
- CONTROL OF EXPANSION JOINT
- PROPOSED SPOT ELEVATION
- SIDEWALK CROSS SLOPE
- PEDESTRIAN CROSSING SIGN
- W1-2
- W16-9P
- PROPOSED TRAFFIC SIGN

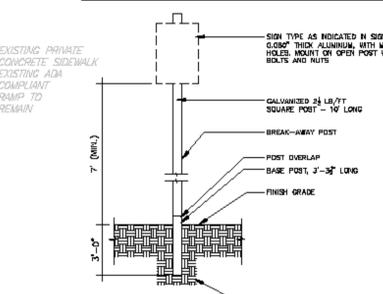


CURB, FOOTWALK, & PAVEMENT RESTORATION DETAIL - (PUBLIC STREET)



SIGN TABULATION

PLAN SYMBOL	QTY	SERIES NUMBER	SIZE	REMARKS
W1-2	4	W11-2	36"x36"	RAISED PEDESTRIAN CROSSING SIGN
W16-9P	2	W16-9P	16"x12"	"AHEAD"

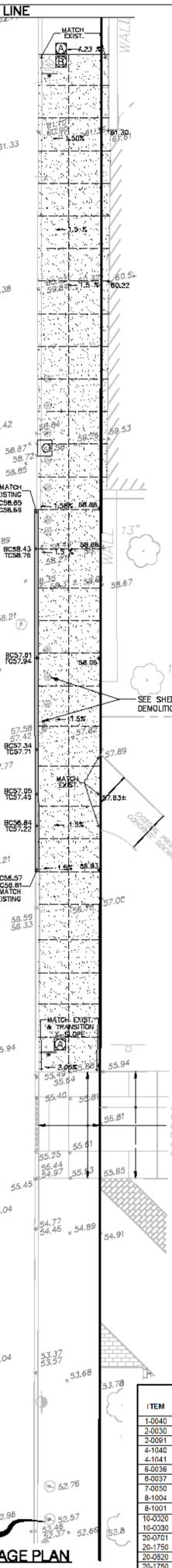
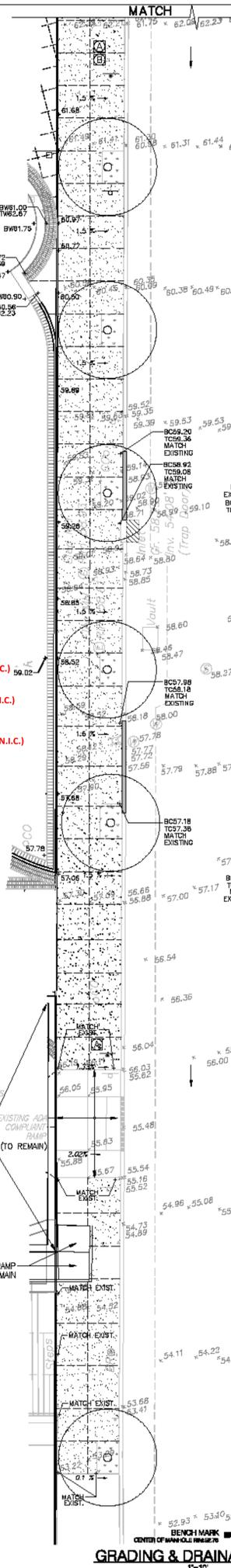
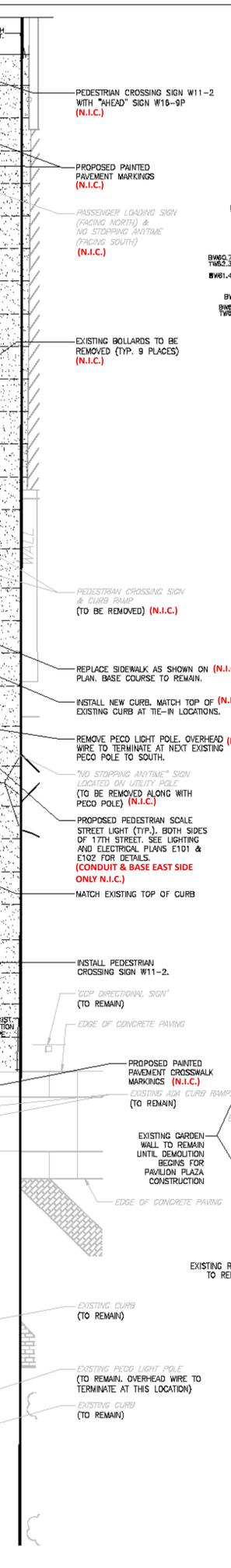
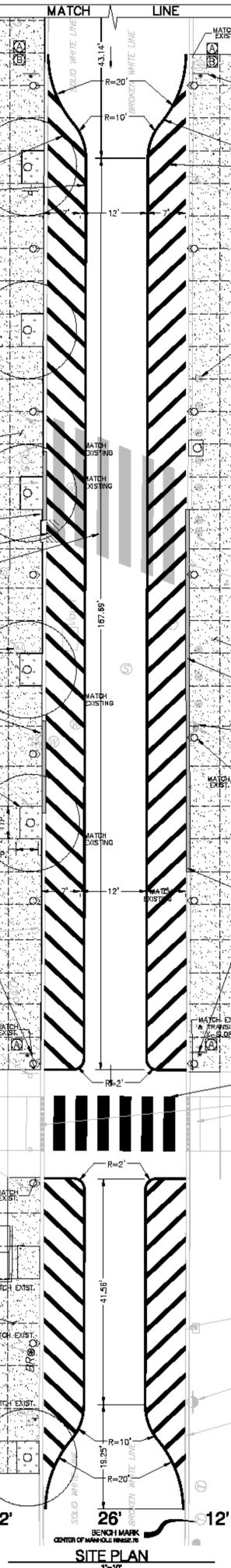
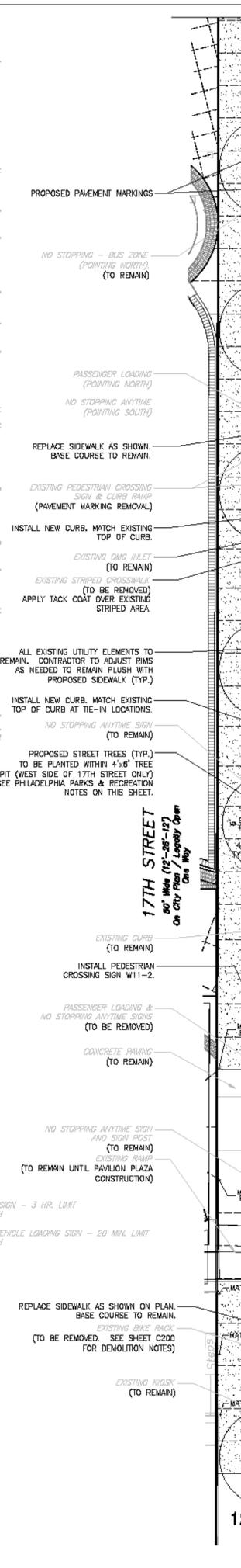
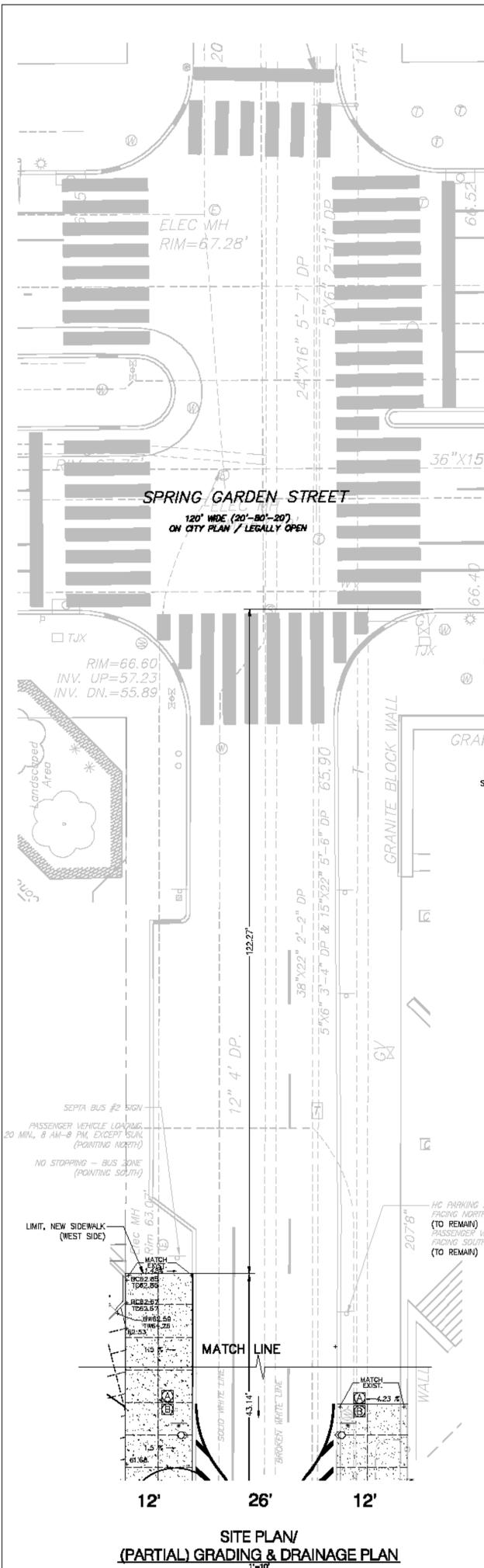


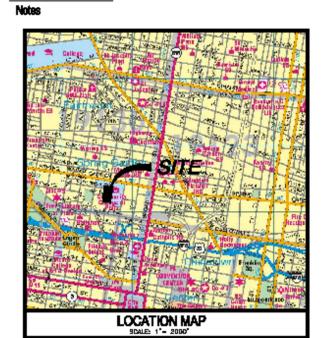
TRAFFIC SIGN DETAILS

NOTES:
1. ALL TRAFFIC CONTROL SIGNS SHALL BE MOUNTED TO BREAK-AWAY POSTS.
2. ALL TRAFFIC CONTROL SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

CONSTRUCTION ITEMS AND QUANTITIES

ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE
1-0040	Plain Cement Concrete Base Course	566	SY
2-0030	Concrete Footway Paving (With Aggregate Base)	566	SY
2-0091	Concrete Curb	97	LF
4-1040	Engineering Survey Services	1	EA
4-1041	Inspection Services	1	EA
6-0038	Footway Removal	566	SY
6-0037	Curb Removal	97	LF
7-0050	Gaw-cutting	97	LF
8-1004	Suppawave Binder Course, 64-22PG, Variable Depth	13.25	SY
8-1001	Suppawave Wearing Course, 64-22PG, 1-1/2" Depth SRL-H, Type A	13.25	SY
10-0030	8" Subbase	21.55	SY
10-0030	2A Stone	50	TN
20-0701	Traffic Sign	39	SF
20-1750	Traffic Sign Post	4	EA
20-0030	Pavement Markings	1146	LF
20-1750	Pavement Marking Removal	616	SF





- GENERAL NOTES:**
- ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED DD.
 - SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 420787-0183G, LAST REVISED JANUARY 17, 2007.
 - UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT-OF-WAY.
 - PLAN MADE AS PER INSTRUCTIONS OF COMMUNITY COLLEGE OF PHILADELPHIA.
 - ALL PROPOSED UTILITY STRUCTURES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 187 AS AMENDED.
 - NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAVE BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).
 - CHILLED WATER MAINS LOCATED SOUTH OF BORNELL AND WINNET BUILDINGS (CROSSING 17TH STREET) ARE APPROXIMATELY LOCATED PER PLAN TITLED "PARTIAL SITE PLAN, DETAILS & DIAGRAMS, MECHANICAL" FOR PROJECT TITLED COMMUNITY COLLEGE OF PHILADELPHIA STUDENT LIFE AND INSTRUCTION BUILDING AND GYMNASIUM BUILDING DATED JUNE 5, 1988.

- DEMOLITION NOTES:**
- CONTRACTOR TO COORDINATE ALL DEMOLITION WORK WITH THE ARCHITECTURAL PLANS. ALL WORK SHOWN ON THE ARCHITECTURAL PLANS SUPERCEDES THIS SHEET.
 - CONTRACTOR SHALL CARRY OUT DEMOLITION IN SUCH WAY AS TO PROTECT SITE ELEMENTS TO REMAIN. SITE ELEMENTS DAMAGED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - SITE CLEARING SHALL INCLUDE THE REMOVAL AND PROPER DISPOSAL, ACCORDING TO LAW OF, ALL MATERIALS, PAVEMENT ENCOUNTERED WITHIN THE DEVELOPMENT AREA, WHETHER SHOWN OR NOT. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LANDFILL IN ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS AND REGULATIONS. THE PROPER DISPOSAL SHALL INCLUDE ALL FEES ASSOCIATED WITH SUCH DISPOSAL. BURNING OF DEMOLITION DEBRIS IS NOT PERMITTED.
 - DEMOLITION AND REMOVAL OF DEMOLITION DEBRIS SHALL BE CONDUCTED IN SUCH A MANNER AS TO PREVENT THE SEDIMENTATION OF THE EXISTING DRAINAGE SYSTEM. ALL AREA DRAINS LOCATED IMMEDIATELY DOWNSTREAM OF THE PROJECT SHALL BE PROTECTED UNTIL COMPLETION OF THE DEMOLITION, GRADING, AND CONSTRUCTION OPERATIONS.
 - CONTRACTOR TO CUT AND CAP EXISTING UTILITIES (SANITARY, STORM, ETC.) WHICH ARE TO BE ABANDONED.
 - PERMANENT DISCONNECTION OF UTILITIES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT STANDARDS, TRENCH AND FOOTWALK RESTORATION TO BE CONDUCTED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DEPARTMENT OF STREETS STANDARD DETAILS AND SPECIFICATIONS.
 - ALL DEMOLITION TO BE COMPLETED IN ACCORDANCE WITH UTILITY COMPANY AND/OR CITY REGULATIONS, WHICHEVER APPLIES.
 - IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS (HYDRAULIC FLUID, ETC.) ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER.
 - REMOVE EXISTING TRASH CANS, SIGNS AND OTHER SITE AMENITIES ASSOCIATED WITH DEMOLITION, AS REQUIRED.
 - THIS PLAN DOES NOT SPECIFY CONSTRUCTION PHASING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONSULT WITH THE OWNER FOR SPECIFIC PHASING INSTRUCTIONS.

ISSUED FOR CONSTRUCTION	CPN	MJC	13.10.04
CHILLED WATER MAINS PER 8/2/1988 PLAN	CPN	MJC	13.10.25
CONSTRUCTION SET	CPN	MJC	13.10.18
ISSUED FOR OWNER REVIEW	WMC	MJC	13.08.30
SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	MJC	13.08.30
SUBMISSION FOR OWNER'S APPROVAL	CPN	MJC	13.05.31
SUBMISSION TO DEP FOR BORNELL PLAZA CONSTRUCTION	CPN	MJC	13.05.10
Issued	by	appd.	17.MAY.09

File Name: 177901252-c200.dwg	LDL	MJC	LDL	2013.02.04
	Desg.	Chk'd	Desg.	17.MAY.09

Permit-80a1

Client/Project

COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
MODIFIED EXISTING CONDITIONS & DEMOLITION PLAN

Project No.	Scale	
177901252	1"=20'	
Drawing No.	Sheet	Revision
C200	3 of 14	0

LEGEND - PROPOSED FEATURES

DEMOLITION FEATURES

- CONCRETE PAVEMENT AREA TO BE REMOVED
- ASPHALT PAVEMENT AREA TO BE REMOVED
- BELGIAN BLOCK TO BE REMOVED

LEGEND - EXISTING FEATURES

RIGHT-OF-WAY LINE

- BUILDING
- GREEN ROOF BUILDING
- CHAIN-LINK FENCE
- BITUMINOUS PAVEMENT
- POROUS PAVEMENT
- CONCRETE
- DEPRESSED CURB
- CURB
- COBBLESTONE AREA (SEE LANDSCAPE PLANS)
- CURB INLET
- GRATE INLET
- TRENCH DRAIN
- DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER MANHOLE
- GAS VALVE
- BOLLARD
- SQUARE POST
- TELECOMMUNICATIONS MANHOLE
- TELECOMMUNICATIONS JUNCTION BOX
- UTILITY POLE
- ELECTRIC MANHOLE
- LIGHT POLE
- ELECTRIC METER BOX
- TRAFFIC LIGHT
- SANITARY MANHOLE
- SANITARY CLEAN OUT
- STAND PIPE
- COLUMN
- CONCRETE COLUMN
- PARKING METER
- CONCRETE PARKER BOX
- SIGN
- HANDICAPPED PARKING SIGN
- MONITORING WELL
- VENT
- DECIDUOUS TREE (SEE LANDSCAPE PLANS)
- BORING LOCATION
- LANDSCAPE PLANTER AREA (SEE LANDSCAPE PLANS)
- INDEX CONTOURS
- SPOT ELEVATION
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- TELECOMMUNICATIONS LINE
- ELECTRIC LINE
- GAS PIPE

NOTE:
SEE SHEET C110 FOR ADDITIONAL INFORMATION REGARDING DEMOLITION & IMPROVEMENTS IN 17TH STREET R.O.W.

KEY NOTES

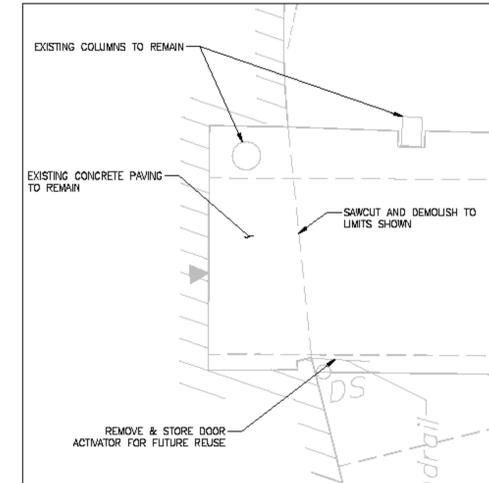
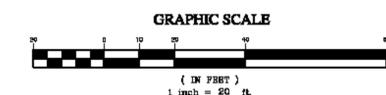
- DEMOLISH EXISTING CONCRETE PAVING AND AGGREGATE BASE COURSE.
- SAW CUT JOINT CONNECTING BUILDING CORNER. DEMOLISH EXISTING CONCRETE TO LEAVE PROTECTED EXISTING COLUMNS AND HANDICAP DOOR CONTROL. SEE PAVILION ENTRANCE INSET.
- DEMOLISH EXISTING PLANTER, RAMP AND ADJACENT WALL.
- DEMOLISH EXISTING WALK, RAMP AND ADJACENT CURB.
- PROTECT AND MAINTAIN STAIRS, LANDING AND RAILING.
- DEMOLISH PARTIAL STAIRS AND CONCRETE WALK TO JOINT. SEE WINNET ENTRANCE INSET.
- REMOVE EXISTING PARKING SIGNS/SIGNAGE. STORE TEMPORARILY IN SECURE LOCATION, COORDINATE STORAGE AND RELOCATION WITH PHILADELPHIA PARKING AUTHORITY.
- CUT/CAP UTILITIES TO BE ABANDONED. MAIN TRUNK LINE TO BE REUSED.
- EXISTING UTILITY STRUCTURES TO REMAIN. RM/GRATE ELEVATIONS TO BE RESET AS REQUIRED.
- DEMOLISH RETAINING WALLS PROTECT AND MAINTAIN EXISTING BUILDING PROJECTION WALL. SEE GYM ENTRANCE INSET.
- CONTRACTOR TO REMOVE AND SALVAGE GRANITE BLOCKS FOR RE-USE (4 TIERS). CLEAN BLOCKS - BUFF WITH STEEL BRUSH.
- REMOVE PAINTED CROSSWALK AREA.
- REPAIR AND CLEAN EXISTING BRICKWORK. EXISTING DAMAGED OR MISSING BRICKWORK TO BE REPLACED IN KIND. CONTRACTOR TO MATCH ALL CHARACTERISTICS OF EXISTING BRICKWORK AND GROUTING. ALL BRICK TO BE REPOINTED.
- CLEAN GAP BETWEEN WALL AND STEPS AND GROUT GAP. GROUT TO MATCH STEP CONFINEMENT.
- REMOVE EXISTING "DEP DIRECTIONAL SIGN" AND FOUNDATION. STORE SIGN FOR REUSE. SEE SHEET C400 FOR PROPOSED LOCATION.
- REMOVE ALL EXISTING SQUARE METAL POSTS.
- REMOVE ASPHALT PAVEMENT AND AGGREGATE BASE TO NEW CURB/RAISED PLANTER LIMITS (SEE SHEET C400).
- REMOVE EXISTING BELGIAN BLOCK - STORE FOR REUSE, COORDINATE WITH OWNER'S REPRESENTATIVE.
- REMOVE EXISTING BELGIAN BLOCK AND MORTAR SETTING BED. STORE BELGIAN BLOCK FOR REUSE, COORDINATE WITH OWNER'S REPRESENTATIVE.
- REMOVE INLET AND CAP EXISTING PIPE PER PWD STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO HAVE ARBORIST ASSESS EXISTING TREES FOR PRUNING. TREES TO BE PRUNED PER ARBORIST ASSESSMENT AND APPROVAL OF OWNER.
- REMOVE UTILITY POLE AND TERMINATE OVERHEAD WIRING AS SPECIFIED.
- REMOVE EXISTING TRENCH DRAIN AND CONNECTING PIPE PER PWD STANDARDS AND SPECIFICATIONS.
- TREE TO BE REMOVED.

CALL BEFORE YOU DIG!

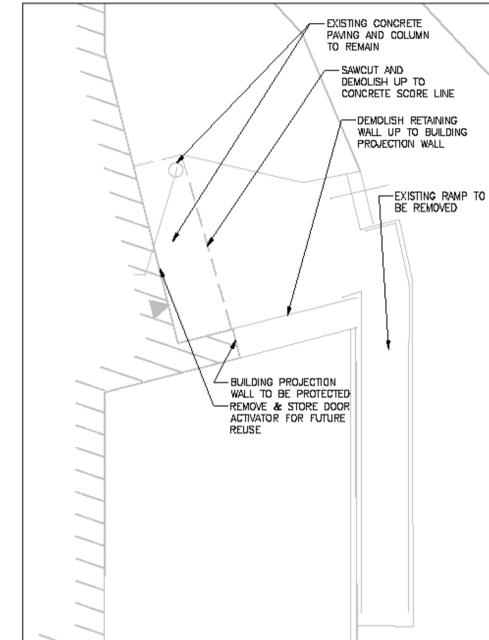
PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE ONE-CALL SERIAL NO. 2985492, 2985498, 2985507, 20121790546, 20121790547.
Pennsylvania One Call System, Inc.
1-800-242-1776

UTILITY NOTE

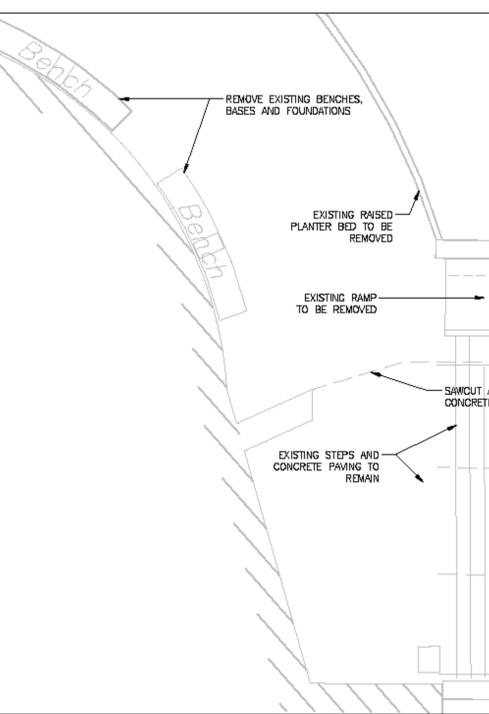
THE LOCATION OF UNDERGROUND UTILITIES AND FIELD LOCATION OF VENTS, VALVES, MANHOLES, INLETS, ETC. PROVIDED BY HUNT ENGINEERING. THE EXTENT, EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES HAS NOT BEEN INDEPENDENTLY VERIFIED BY STANTEC, THE OWNER, OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXTENT AND EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT No. 287. UTILITY COMPANIES HAVE ASSIGNED SERIAL #'S 2985492, 2985498, 2985507 TO THIS LOCATION BY HUNT ENGINEERING & SERIAL #'S 20121790546, 20121790547 BY STANTEC CONSULTING SERVICES INC.



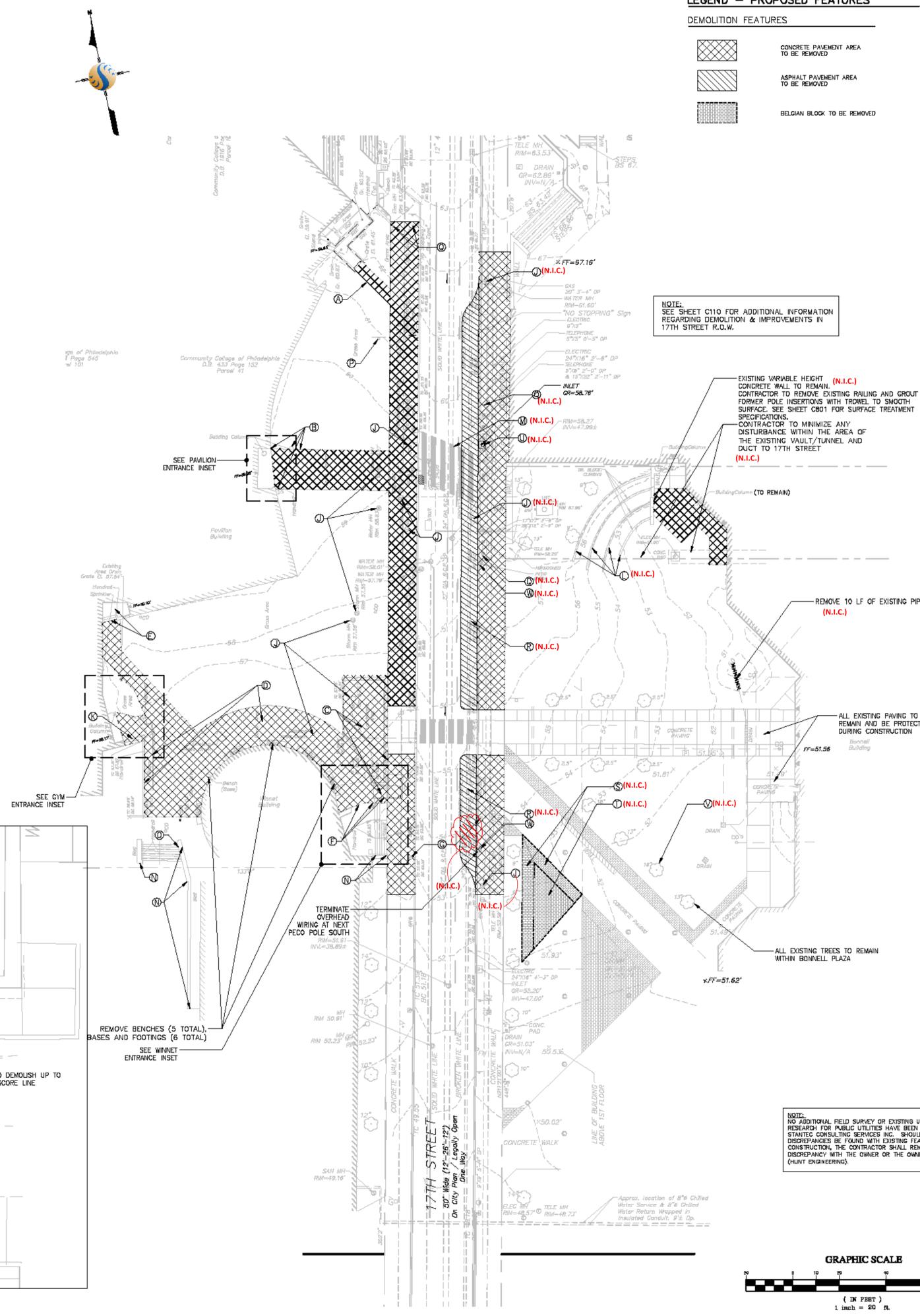
PAVILION ENTRANCE INSET



GYM ENTRANCE INSET



WINNET ENTRANCE INSET



177901252 - Community College of Philadelphia, 17th Street Improvements & Pavilion 177901252 - C200.dwg

SEQUENCE OF CONSTRUCTION

THE PURPOSE OF THIS PLAN IS TO DOCUMENT THE EAS MEASURES NECESSARY TO CONTROL THE EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH THE CONSTRUCTION OF PROPOSED SIDEWALKS, ACCESSIBLE RAMPS AND HARDSCAPE AMENITIES FOR THE BONNELL BUILDING ON 1500 SPRING GARDEN STREET.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVEIT ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO THE LAND OWNER AND ALL APPROPRIATE CITY OFFICIALS TO A SITE MEETING.

BEFORE TO ANY EARTHWORK, CONTACT THE INSPECTIONS COORDINATOR OF PMD (OFFICE 215-685-6187) AND PA DEP TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH PA'S EROSION AND SEDIMENT CONTROL INSPECTION GROUP.

1. INSTALL OR MAINTAIN INLET PROTECTION ON ALL DOWNSTREAM EXISTING CITY-DRAINED (STREET) INLETS WITHIN ONE (1) BLOCK OF THE PROJECT SITE. NOTE THAT PMD IS NOT RESPONSIBLE FOR ANY DAMAGE OR MAINTENANCE TO ANY CITY-DRAINED INLETS THAT HAVE BEEN AFFECTED BY THIS PROJECT.

2. DEMOLISH EXISTING SITE FEATURES NOTED TO BE REMOVED WITHIN THE AREA OF WORK AS NOTED ON "MODIFIED EXISTING CONDITIONS AND SITE UTILITIES" PLAN SHEET C-2007.

3. REPAIR GRADE SITE TO SUB-BASE ELEVATIONS FOR SIDEWALKS AND KNEE WALLS AND RELOCATE EXISTING DEPRESSED/SUMPED AREAS NORTH OF MAIN SIDEWALK AS SHOWN ON PLAN.

4. MOODY DRAIN PIPE FROM TRENCH DRAIN TO RELOCATED LOW POINT PER PLAN.

5. LAYOUT AND INSTALL SUB-BASE MATERIAL AND FORM WORK FOR CONCRETE AND PAVEMENT SIDEWALK AND KNEE WALLS.

NOTE: CONSTRUCTION CAN NOT PROCEED ON PAVILION SIDE PRIOR TO RECEIVING PERMIT FROM PHILADELPHIA STREETS DEPARTMENT FOR PROPOSED IMPROVEMENTS TO 17TH STREET.

PROVIDE TEMPORARY BITUMINOUS WALKWAY, ±5' WIDTH, TO EXISTING DOORWAYS AT PAVILION AND GYMNASIUM. MAINTAIN EXISTING RAMPS/PAVING ADJACENT TO DOORWAYS UNTIL NECESSARY TO REMOVE FOR NEW CONSTRUCTION. INSTALL TEMPORARY CHAINLINK FENCING AROUND TEMPORARY SIDEWALKS TO PROTECT PEDESTRIANS FROM CONSTRUCTION ACTIVITIES.

TOPSOIL SOCKPILE AREA- SIDE SLOPE 2:1 OR FLATTER

1. VEHICLES AND EQUIPMENT MUST ENTER SITE DIRECTLY TO AND EXIT DIRECTLY FROM 17TH STREET, EASTSIDE P188.

2. STOCKPILE HEIGHTS MUST NOT EXCEED 30 FEET STOCKPILE SLOPES MUST BE SET BY FLATTER SIDEWALK P188.

3. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

4. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND FACILITIES. THE OPERATOR SHALL MAINTAIN AND MAKE AVAILABLE SUFFICIENT SIGNAGE AND WEATHER INSTRUMENTS TO MONITOR WEATHER CONDITIONS.

5. IMMEDIATELY UPON DISORDERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

6. BEFORE INITIATING WORK ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE OPERATOR MUST OBTAIN APPROVAL OF THE PROJECT FROM PMD AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP).

7. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY PMD AND PA DEP, AND IS BEING MAINTAINED FOR ALL ACCURATE RECORDS, RECORDS OF ALL MODIFICATIONS OF THE PLAN.

8. THE OPERATOR SHALL ASSURE THAT ALL EROSION AND SEDIMENT CONTROL PLAN MEASURES ARE MAINTAINED AND OPERATED AS REQUIRED BY THE PLAN AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART G, PROTECTION OF WATER RESOURCES, CHAPTER 120, EROSION CONTROL.

9. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

10.24(a)(2)(v) "THE EXISTING TOPOGRAPHIC FEATURES OF THE PROJECT SITE AND THE IMMEDIATE SURROUNDING AREA."

11. THE E & S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL, NOT A NOTE.)

10.24(a)(2)(vi) "A SEQUENCE OF BMP INSTALLATION AND REMOVAL IN RELATION TO THE SCHEDULING OF EARTH DISTURBANCE ACTIVITIES, PRIOR TO, DURING, AND AFTER EARTH DISTURBANCE ACTIVITIES."

10.24(a)(2)(vii) "EARTH DISTURBANCE ACTIVITIES SHALL BE PLANNED AND CONDUCTED TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE."

10.22(a) "UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OF PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION."

2. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SITE TO CONSTRUCT THE PROPOSED EAS CONTROL EROSION CONTROL.

OTHER BMPs (INLET FILTER BAGS)

1. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.

TEMPORARY STABILIZATION & PERMANENT STABILIZATION

1. HAY OR STRAW MULCH MUST BE APPLIED AT 2 TONS PER ACRE.

2. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.

3. STRAW MULCH SHALL BE APPLIED IN LONG STRIPES, NOT CHOPPED OR FINELY BROKEN.

10.24(a)(2)(viii) "A MAINTENANCE PROGRAM WHICH PROVIDES FOR INSPECTION OF BMPs ON A WEEKLY BASIS AND AFTER EACH REASONABLE RAINFALL EVENT, INCLUDING THE REPAIR OF THE BMPs TO ENSURE EFFECTIVE AND EROSION CONTROL."

9. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENT AND AFTER ALL PRECIPITATION AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RETENING SHALL BE PERFORMED IMMEDIATELY AFTER EACH PRECIPITATION EVENT.

10. SEDIMENT REMOVED FROM BMPs OR PLACED IN TOPSOIL STOCKPILES OR IN LANDSCAPE AREAS OR ON STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

10.24(b)(2)(v) "PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH THIS TITLE."

11. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 (1) SECT. 2711.1 ET SECT. 2711.2 ET SECT. 2711.3. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE."

SEEDING AND MULCHING

1. SEEDING SHALL BE PERFORMED IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES ARE COMPLETED.

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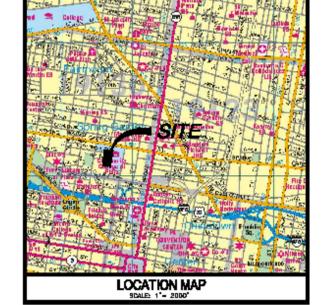
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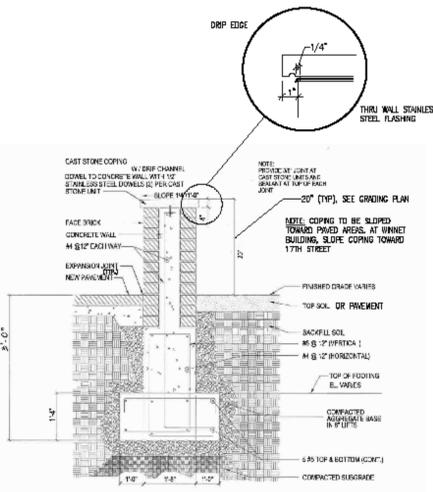


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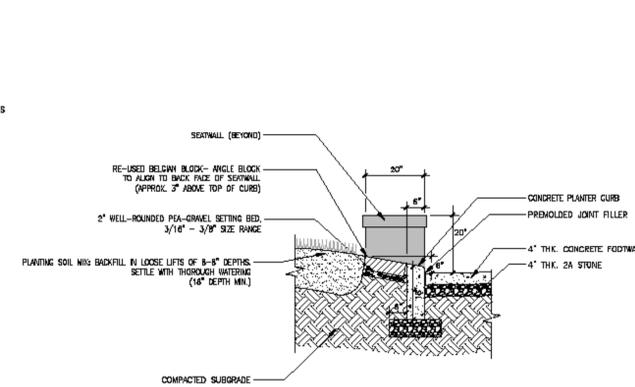


UTILITY NOTES:

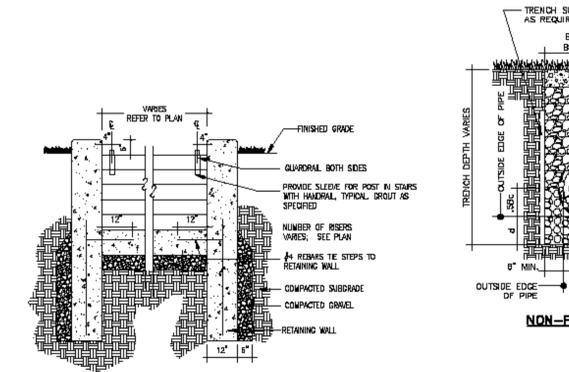
- PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF LICENSES & INSPECTIONS FOR ALL ON-SITE WATER AND SEWERAGE WORK.
- ROADWAY AND FOOTWAY RESTORATION TO BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS "STREET REPAIR SPECIFICATIONS" PUBLISHED BY THE DEPARTMENT LATEST EDITION.
- ALL PRIVATE UTILITIES SHALL BE LOCATED AND THEIR CONNECTIONS SHALL BE SUBJECT TO PERMITTING AND INSPECTION BY THE DEPARTMENT OF LICENSES & INSPECTIONS.
- THE THICKNESS OF THE EXISTING SEWERS ARE UNKNOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT AND EXIST LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY ALL CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT 48.262. UTILITY COMPANIES HAVE ASSIGNED SERIAL NUMBERS: 096348, 096349, 096350, 096351, 096352, 096353, 096354, 096355, 096356, 096357, 096358, 096359, 096360, 096361, 096362, 096363, 096364, 096365, 096366, 096367, 096368, 096369, 096370, 096371, 096372, 096373, 096374, 096375, 096376, 096377, 096378, 096379, 096380, 096381, 096382, 096383, 096384, 096385, 096386, 096387, 096388, 096389, 096390, 096391, 096392, 096393, 096394, 096395, 096396, 096397, 096398, 096399, 096400, 096401, 096402, 096403, 096404, 096405, 096406, 096407, 096408, 096409, 096410, 096411, 096412, 096413, 096414, 096415, 096416, 096417, 096418, 096419, 096420, 096421, 096422, 096423, 096424, 096425, 096426, 096427, 096428, 096429, 096430, 096431, 096432, 096433, 096434, 096435, 096436, 096437, 096438, 096439, 096440, 096441, 096442, 096443, 096444, 096445, 096446, 096447, 096448, 096449, 096450, 096451, 096452, 096453, 096454, 096455, 096456, 096457, 096458, 096459, 096460, 096461, 096462, 096463, 096464, 096465, 096466, 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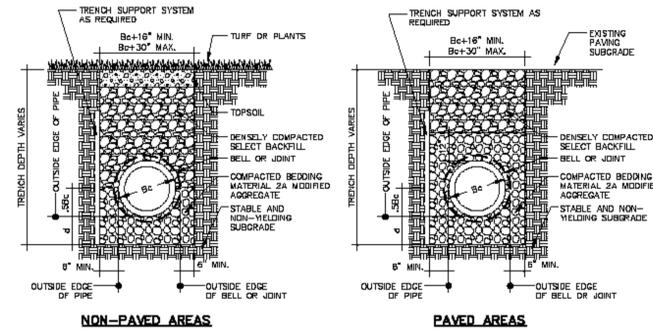
TYPICAL SEAT WALL AT PAVILION PLAZA
 NOT TO SCALE



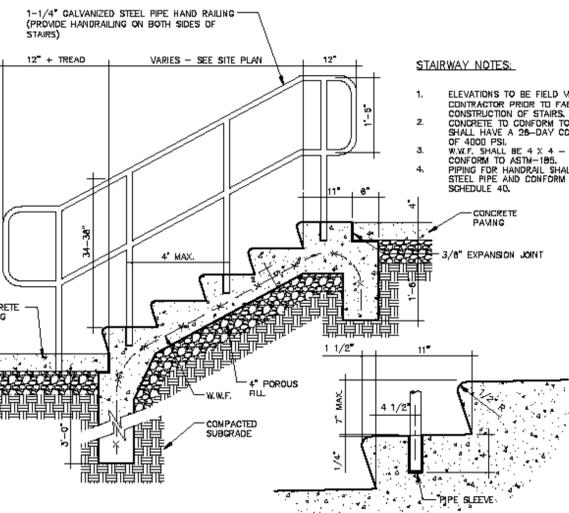
CONCRETE PAVING/ CURB/ BELGIAN BLOCK AT SEATWALL - PAVILION PLAZA
 NOT TO SCALE



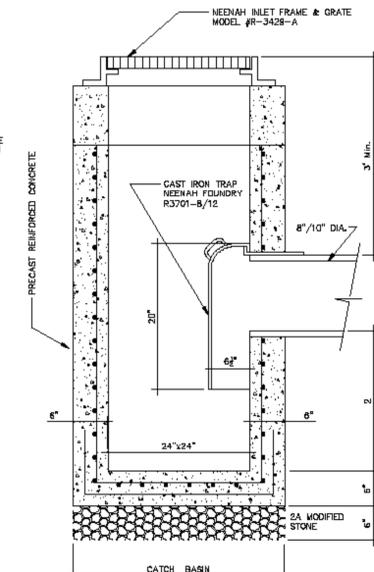
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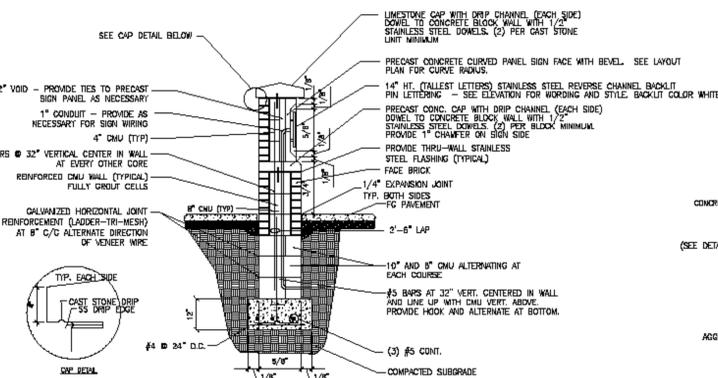
TYPICAL TRENCH AND PIPE BEDDING
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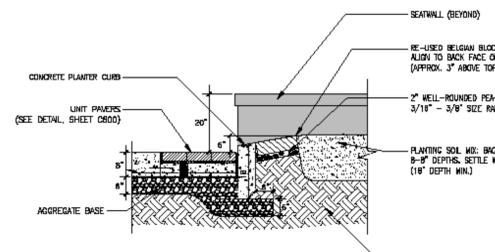
CONCRETE STEPS AT PAVILION PLAZA
 NOT TO SCALE



18"x18" INLET
 NOT TO SCALE

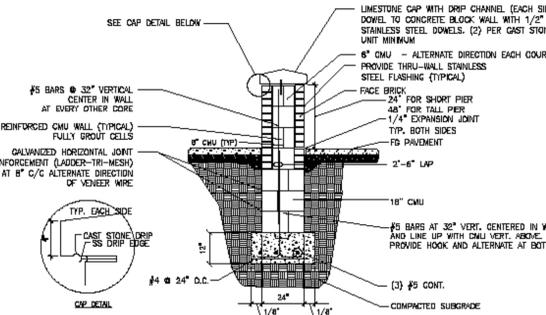


SIGN WALL AT PAVILION PLAZA
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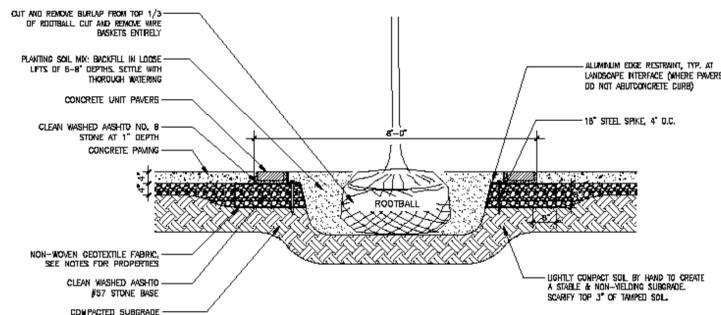


CONCRETE PAVERS/ CURB/ BELGIAN BLOCK AT SEATWALL - PAVILION PLAZA
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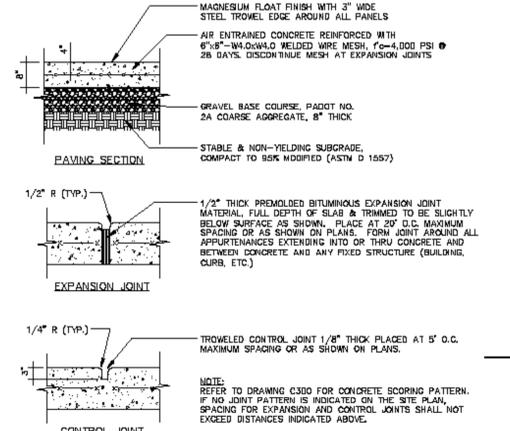
TYP. TREAD AND RISER DETAIL



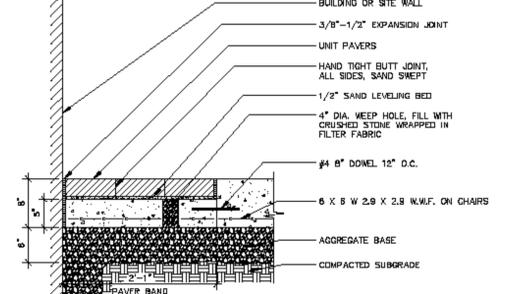
SHORT/ TALL PIER AT PAVILION PLAZA
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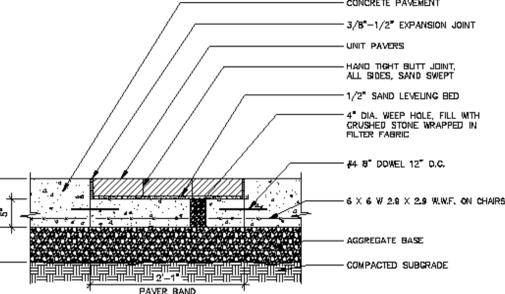
PAVEMENT CONNECTION/ TREE PIT DETAIL AT PAVILION PLAZA
 NOT TO SCALE



HEAVY DUTY CONCRETE PAVING
 NOT TO SCALE



PAVER BAND ALONG BUILDING OR SITE WALL AT PAVILION PLAZA
 NOT TO SCALE



PAVER BAND IN CONCRETE SIDEWALK AT PAVILION PLAZA
 NOT TO SCALE

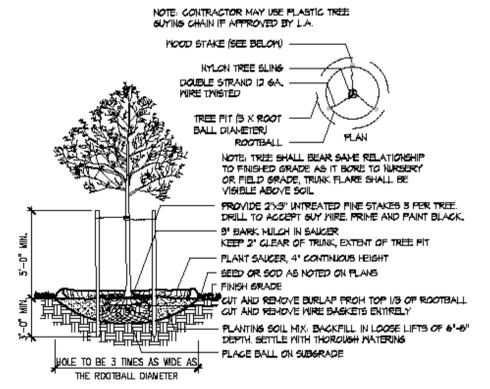
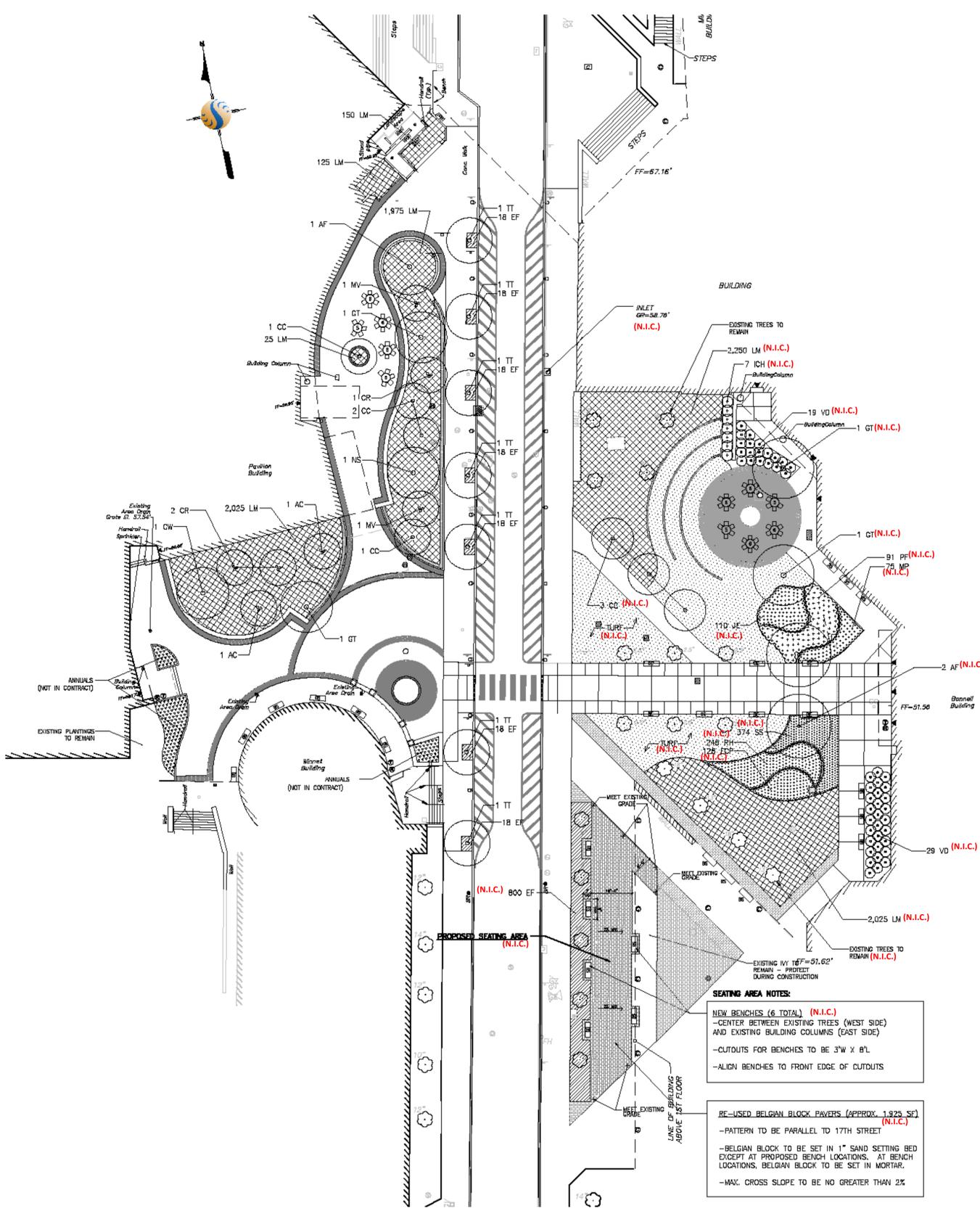
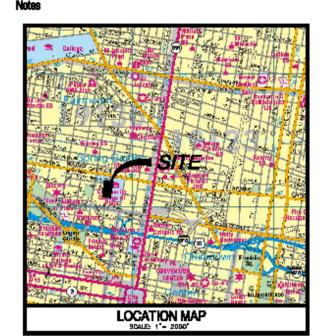
COMMUNITY COLLEGE OF PHILADELPHIA

NOTE: DETAIL SHOWN IS BASIS OF DESIGN ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND MANUFACTURER'S RENDERING FOR OWNER'S APPROVAL.

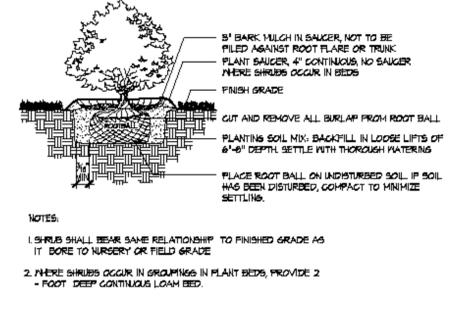
SIGN LETTERING ELEVATION AT PAVILION PLAZA
 NOT TO SCALE

NOTE: DETAIL SHOWN IS BASIS OF DESIGN ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND MANUFACTURER'S RENDERING FOR OWNER'S APPROVAL.

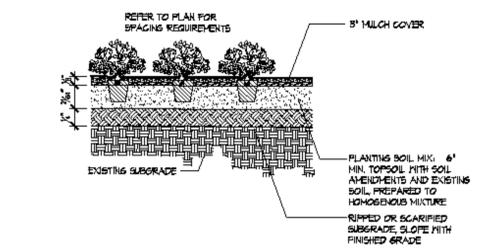
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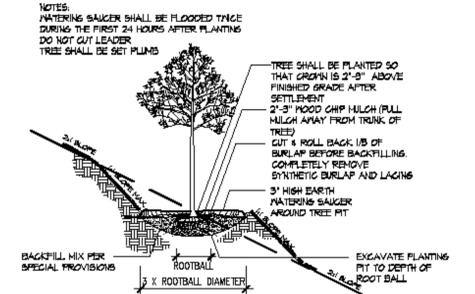
1 TYPICAL PLANTING - DECIDUOUS TREE



2 TYPICAL PLANTING - SHRUB



3 TYPICAL PLANTING - GROUNDCOVER



4 TYPICAL PLANTING - ON SLOPES

KEY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	NOTES	DETAIL
TREES							
AF	ACER x FREEMANII 'CELANO'	CELANO CELEBRATION MAPLE	B&B	2 1/2" CAL.	N/A	6' BRANCH BREAK	3/1300
CC	CARPINUS CAROLINIANA 'PALISADE'	AMERICAN HORNBEAM	B&B	2 1/2" CAL.	N/A		3/1300
CR	CERCIS CANADENSIS	EASTERN REDBUD	B&B	2 1/2" CAL.	N/A		3/1300
CW	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORNE	B&B	2 1/2" CAL.	N/A		3/1300
AC	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B&B	2 1/2" CAL.	N/A		3/1300
NS	NYSSA SYLVATICA	BLACK GUM	B&B	3 1/2" CAL.	N/A	6' BRANCH BREAK	3/1300
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	B&B	2 1/2" CAL.	N/A		3/1300
GT	GLEDITSIA TRUCANTHOS 'IMPERIAL'	IMPERIAL THORNLESS HONEYLOCUST	B&B	5 1/2" CAL.	N/A	6' BRANCH BREAK	3/1300
TT	TILIA TOMENTOSA 'GREEN MOUNTAIN'	GREEN MOUNTAIN SILVER LINDEN	B&B	3 1/2" CAL.	N/A	MATCHED, 6' BRANCH BREAK	3/1300
SHRUBS							
VD	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN ARBORSWOOD VIBURNUM	#6 CONT.	24-30"	3 1/2' O.C.		2/1300
ICH	ILEX CRENATA 'HELLER'	HELLER'S JAPANESE HOLLY	#8 CONT.	24-30"	3 1/2' O.C.		2/1300
PERENNIALS, GRASSES, & GROUNDCOVER							
EF	EUCHYLIUM FORTUNEI 'COLORATUS'	PURPLELEAVED WINTERCREPER	1 GAL.		12" O.C.		3/1300
LM	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.		12" O.C.		3/1300
WETLAND PLANT GROUP							
JE	JUNCUS EFFRUSI	SOFT RUSH	#1 CONTAINER		18" O.C.		3/1300
MP	MULLEBERGIA CAPILLARS	PINK MILKLY GRASS	#2 CONTAINER		18" O.C.		3/1300
PF	POTENTILLA FRUTICOSA	BUSH CINQUEFOIL	#5 CONTAINER		24" O.C.		3/1300
WETLAND PLANT GROUP							
EC	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1 CONTAINER		15" O.C.		3/1300
SH	SHEPHERDIA HIRTAE	BLACK-EYED SUSAN	#1 CONTAINER		15" O.C.		3/1300
SS	SCHIZANTHUS SCOPARIUM	LITTLE BLUESTEM	#2 POTS PLUG		12" O.C.		3/1300

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS FOR DESIGN STAGE. UTILITY INFORMATION IDENTIFIED THROUGH THE ONE-CALL PROCESS IS VALID FOR 90 DAYS FROM THE DATE OF THE ONE CALL SERIAL NO. 2985492, 2985498, 2985507, 20121790546, 20121790547.

Pennsylvania One Call System, Inc.
1-800-242-1776

UTILITY NOTE

THE LOCATION OF UNDERGROUND UTILITIES AND FIELD LOCATION OF VENTS, VALVES, MANHOLES, INLETS ETC. PROVIDED BY HUNT ENGINEERING. THE EXTENT, EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES HAS NOT BEEN INDEPENDENTLY VERIFIED BY STANTEC. THE OWNER, OR ITS REPRESENTATIVE, THE CONTRACTOR SHALL DETERMINE THE EXTENT AND EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT NO. 287. UTILITY COMPANIES HAVE ASSIGNED SERIAL #S 2985492, 2985498, 2985507, TO THIS LOCATION BY HUNT ENGINEERING & SERIAL #'S 20121790546, 20121790547 BY STANTEC CONSULTING SERVICES INC.

SEATING AREA NOTES:

NEW BENCHES (6 TOTAL) (N.I.C.)

- CENTER BETWEEN EXISTING TREES (WEST SIDE) AND EXISTING BUILDING COLUMNS (EAST SIDE)
- CUTOUTS FOR BENCHES TO BE 3'W X 8'L
- ALIGN BENCHES TO FRONT EDGE OF CUTOUTS

RE-USED BELGIAN BLOCK PAVERS (APPROX. 1,925 SF)

- PATTERN TO BE PARALLEL TO 17TH STREET
- BELGIAN BLOCK TO BE SET IN 1" SAND SETTING BED EXCEPT AT PROPOSED BENCH LOCATIONS. AT BENCH LOCATIONS, BELGIAN BLOCK TO BE SET IN MORTAR.
- MAX. CROSS SLOPE TO BE NO GREATER THAN 2%

ISSUED FOR CONSTRUCTION	CPN	N/C	1.11.04
1 CHILLED WATER MAINS PER 8/2/1988 PLAN	CPN	N/C	1.3.10.25
2 CONSTRUCTION SET	CPN	N/C	1.3.10.18
3 ISSUED FOR OWNER REVIEW	WMC	N/C	1.3.08.30
4 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	N/C	1.3.08.30
5 SUBMISSION FOR OWNER'S APPROVAL	CPN	N/C	1.3.05.31
6 SUBMISSION TO ISP FOR BONNELL PLAZA CONSTRUCTION	CPN	N/C	1.3.05.10
7	CPN	APP	17.04.09

File Name: 177901292-1100.dwg
 177901292-1100.dwg

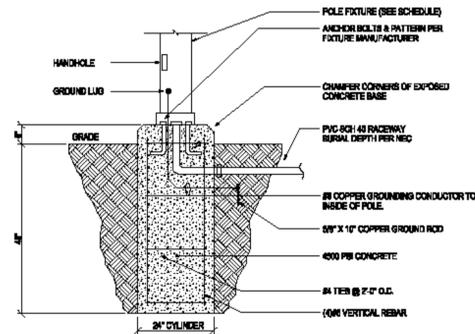
Client/Project: COMMUNITY COLLEGE OF PHILADELPHIA
 PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
 Philadelphia, PA

Title: LANDSCAPE PLAN

Project No: 177901252
 Scale: 1"=20'
 Drawing No: L-100
 Sheet: 10 of 14
 Revision: 0

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Notes



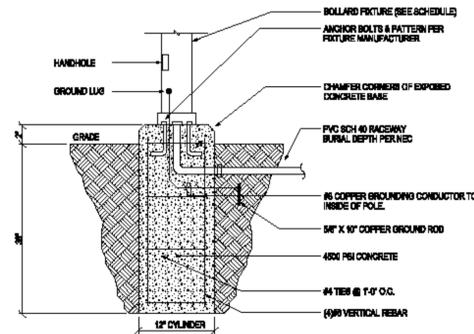
NOTE:
 1. PROVIDE A SEPARATE 1\"/>

1 TYPICAL 6" BASE FOR LIGHT POLE MOUNTING (POLES ABOVE 4'-0" HIGH)
 NOT TO SCALE

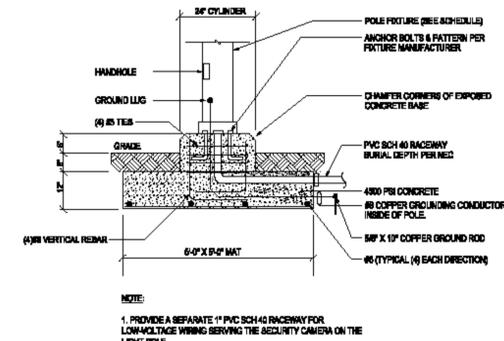
LIGHTING FIXTURE SCHEDULE									
FIXTURE TAG	DESCRIPTION	MOUNTING	LAMP QUANTITY	WATTS	VOLTAGE	MANUFACTURER	CATALOG NUMBER OR SERIES	NOTES	
A	PEDESTRIAN SCALE LED POLE LIGHT - PANDANUS TYPE I WITH CLEAR SALLOW DROP GLASS LENS TYPE II GRAY FINISH BANNER ARM OF RECEPTACLE 4\"/>	POLE	3500K LED	75	120	KING LUMINAIRE	K903-ASH-1175-SSL-8000-120-07	1,2	
A2	PEDESTRIAN SCALE LED POLE LIGHT - PANDANUS TYPE I WITH CLEAR SALLOW DROP GLASS LENS TYPE II GRAY FINISH BANNER ARM OF RECEPTACLE 4\"/>	POLE	3500K LED	75	120	KING LUMINAIRE	K903-FASH-1175-SSL-8000-120-07	2,6	
B	1/2" HIGH LED BOLLARD WITH FULL LIGHT CUTOFF, ASYMMETRIC TYPE III (30\"/>	BOLLARD	3500K LED	12	120	SELUX	N7-3-5-LG2700-35-5V-120	5	
C	3\"/>	LOW LEVEL BOLLARD	3000K LED	2x5	120	SEGA	77A0LED-C-8-LV-895A		
D	4\"/>	WALL MOUNTED STEP LIGHT	3000K LED	5	120	COLLIER LIGHTS	L121-5LXLS		
L	SMALL PROFILE LED STRIP LIGHT, 120V RATED, 13\"/>	STRIP LIGHT	3500K LED	8W/1	24/120	2 SYSTEMS	V3285-4-1-3-CBC-OUTDOOR-BLACK-ANODIZE-VLAS	4	

LIGHTING FIXTURE SCHEDULE NOTES
 1. PROVIDE FIXTURE WITH 1/2\"/>

GENERAL NOTES
 1. IF DISCREPANCY EXISTS BETWEEN FIXTURE CATALOG NUMBER AND FIXTURE DESCRIPTION, FIXTURE DESCRIPTION SHALL TAKE PRECEDENCE.
 2. TARGET ILLUMINANCE LEVELS ON THE PAVEMENT ARE 2.0 FOOT CANDLES MINIMUM MAINTAINED.



2 2" BOLLARD BASE MOUNTING DETAIL (FIXTURES LESS THEN 4'-0" HIGH)
 NOT TO SCALE



4 SPECIALTY 6" BASE FOR LIGHT POLE MOUNTING WITH UTILITIES BELOW
 NOT TO SCALE

7 ISSUED FOR CONSTRUCTION	CPN	NJC	1.11.04
8 CHILLED WATER MAINS PER 6/2/1998 PLAN	CPN	NJC	1.3.10.25
9 CONSTRUCTION SET	CPN	NJC	1.3.10.18
4 ISSUED FOR OWNER REVIEW	WMC	NJC	1.3.08.30
3 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	NJC	1.3.08.30
2 SUBMISSION FOR OWNER'S APPROVAL	CPN	NJC	1.3.05.31
1 SUBMISSION TO ISP FOR BONNELL PLAZA CONSTRUCTION	CPN	NJC	1.3.05.10
Issued	by	repp	17.04.00

File Name: 177901252-e101.dwg
 Date: 17.04.00
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 Checked: YI.MKD
 Design: YI.MKD

Printed: 17.04.00

Client/Project
 COMMUNITY COLLEGE
 OF PHILADELPHIA
 PAVILION AND BONNELL PLAZAS
 & 17TH STREET IMPROVEMENTS
 Philadelphia, PA

Title
 LIGHTING & ELECTRICAL DETAILS

Project No. 177901252	Scale NOT TO SCALE
Drawing No. E101	Sheet 12 of 14
Revision 0	



Page of Philadelphia
Page 152
of 41

SYMBOLS LEGEND

- ⊙ EXTERIOR GROUND MOUNTED LIGHT FIXTURE (POLE, BOLLARD, ETC.)
- INDICATES FIXTURE TYPE, DIRECTIONAL ARROW COMPONENT INDICATES DIRECTION OF FIXTURE HEADLAMP, CIRCULAR COMPONENT INDICATES MOUNTING BASE LOCATION.

LEGEND

- EXISTING
- - - DEMOLITION
- NEW

NOTE:
CONDUIT & POLE BASES ON THE BONNELL SIDE
ARE N.I.C. WIRING & FIXTURES ARE PART OF
THIS CONTRACT FOR THE BONNELL PLAZA.

INLET
GR=58.76'

GENERAL NOTES

- THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES AND REGULATIONS.
- ALL MATERIAL, ELECTRICAL DEVICES, AND EQUIPMENT PROVIDED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND SHALL BE UL APPROVED AND LABELED UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL WORK IS NEW UNLESS NOTED OTHERWISE AND SHALL BE NEAT AND PERFORMED IN A CRAFTSMANLIKE MANNER IN ACCORDANCE WITH NECA 1-2009 AND NEC 110.12.
- ALL CONDUIT ROUTINGS AND WIRING SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE THE CONDUIT ROUTING WITH ALL TRADES PRIOR TO INSTALLATION. THE LOCATION OF ALL EQUIPMENT AND CONDUIT ARE APPROXIMATE, AND ARE SHOWN FOR INFORMATION ONLY.
- REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWING E101 FOR INFORMATION ON FIXTURE TYPE, LAMPING, MOUNTING, ETC.
- PROVIDE ADDITIONAL HANDHOLES AS REQUIRED TO FACILITATE CABLE PULLING AND IN ACCORDANCE WITH NEC AND MANUFACTURER'S RECOMMENDATIONS. CABLE PULLING TENSORS AS MEASURED WITH A DYNAMOMETER SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION.

KEY NOTES

- REMOVE EXISTING LIGHT FIXTURE AND WOODEN UTILITY POLE. REMOVE EXISTING OVERHEAD WIRING BACK TO ITS NEXT ACTIVE DEVICE.
- REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWING E101 FOR POLE BASE MOUNTING DETAIL. WHERE UNDERGROUND UTILITIES DO NOT PERMIT THE POLE FOUNDATION DEPTH INDICATED FOR THE FIXTURE, PROVIDE ALTERNATE POLE BASE MOUNTING DETAIL (DETAIL AER10). CONSULT CIVIL ENGINEER, AND COLLEGE REPRESENTATIVE PRIOR TO CHANGES REGARDING POLE BASE.
- PROVIDE 3W/1-3P/IG CONDUCTOR CONTROLLED FOR SITE LIGHTING. REFER TO DRAWING E100 FOR CONTINUATION OF THE CONDUIT/WIRING RUN.
- PROVIDE 3W/1-3P/IG CONDUCTOR CONTROLLED FOR SITE LIGHTING.
- PROVIDE 3W/1-3P/IG CONDUCTOR CONTROLLED FOR SITE LIGHTING. REFER TO DRAWING E100 FOR CONTINUATION OF THE CONDUIT/WIRING RUN.
- PROVIDE 3W/1-3P/IG CONDUCTOR CONTROLLED FOR SITE LIGHTING.
- CONNECT TO PANEL THROUGH NEW LIGHTING CONTRACTOR'S POLE. ELECTRICAL FIELD, MENA 1 (ENCLOSURE/IMS CONTROLLED). LOCATE THE NEW LIGHTING CONTRACTOR IN THE BASEMENT ELECTRICAL ROOM WHERE PANEL PWB-18 IS LOCATED. COORDINATE EXACT LOCATION IN THE FIELD WITH THE OWNER.
- CONNECT TO PANEL THROUGH EXISTING LIGHTING CONTRACTOR, CS, LOCATED IN THE GROUND LEVEL ELECTRICAL ROOM OF PAVILION BUILDING.
- (N.I.C.) -- REMOVE EXISTING LIGHT FIXTURE AND WOODEN UTILITY POLE. REMOVE AND RETAIN THE EXISTING WIRING FOR REUSE TO REPEL THE REMAINING SITE LIGHTING FIXTURES LOCATED ALONG 17TH STREET, OUTSIDE THE SCOPE OF WORK.
- PROVIDE 12" X 1" HANDHOLE EQUAL TO QUALITY PCH1118A12 TO REPEL POWER WIRING TO EXISTING SITE LIGHTING FIXTURES ALONG 17TH STREET.
- PROVIDE 1" O.D. x 3/8" FOR EXISTING SITE LIGHTING FIXTURES ALONG 17TH STREET.
- (N.I.C.) -- CONDUIT DOWN TO EXISTING OVERHEAD POLE TO REMAIN. PROVIDE CIRCULIT UP POLE AND RECONNECT TO EXISTING OVERHEAD WIRING THAT SERVES EXISTING SITE LIGHTING FIXTURES THAT ARE NOT IN THE SCOPE OF WORK.
- (N.I.C.) -- DIRECTIONAL BORING SHALL BE USED IN THIS AREA TO PREVENT ANY DISTURBANCE TO THE EXISTING CONDITION.

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GENERAL NOTES

- ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "CIVIL ELECTRICAL CONDITIONS - 1" AND "CIVIL EXISTING CONDITIONS - 2" DATED JUNE 15, 2008. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES, INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRIC WALK AND OIL TANK WHICH ARE SITUATED WITHIN THE BONNELL PLAZA AREA. THE INFORMATION IS REFERENCED FROM PLAN TITLED "GROUND FLOOR PLAN SOUTH 10" BY THE FLUOR PARTNERSHIP DATED NOVEMBER 30, 1978 AND DETAILS & DIAGRAMS SOUTH WEST BY THE KLING PARTNERSHIP DATED NOVEMBER 30, 1978 AND LAST REVISED SEPTEMBER 1, 1985.
- BENCHMARK IS CALLED OUT ON THE HUNT ENGINEERING PLANS NOTED ABOVE AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET, SOUTHWEST CORNER OF INTERSECTION, EAST END OF LOWEST GRADE BENCH AT THE MAIN ENTRANCE TO LIBRARY, ELEVATION #1.21.
- ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED R-1.
- SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 4057-0118, LAST REVISED JANUARY 17, 2007.
- UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHT OF WAY. NO ADDITIONAL FIELD SURVEY OF EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES, INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).
- ALL PROPOSED UTILITY SERVICES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 117 AS AMENDED.
- REFER TO PLAN TITLED "CIVIL EROSION AND SEDIMENT CONTROL PLAN" AND "CIVIL DETAILS - 2" DATED SEPTEMBER 23, 2008 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR PERCS APPLICATION.

NOTE:
UNDERGROUND UTILITY INFORMATION DEPICTED ON PLANS IS TAKEN FROM SURVEY AND DESIGN PLANS PROVIDED BY HUNT ENGINEERING. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES, INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).

ISSUED FOR CONSTRUCTION	CPN	NJC	1.12.04
CHILLED WATER MAINS PER 8/2/1998 PLAN	CPN	NJC	1.3.10.25
CONSTRUCTION SET	CPN	NJC	1.3.10.18
ISSUED FOR OWNER REVIEW	WMC	NJC	1.3.08.30
SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	NJC	1.3.08.30
SUBMISSION FOR OWNER'S APPROVAL	CPN	NJC	1.3.05.31
SUBMISSION TO ISP FOR BONNELL PLAZA CONSTRUCTION	CPN	NJC	1.3.05.10
Issued	by	repp	17.M4.DD

File Name: 177901252-e102.dwg
Date: 11/14/2010
User: jk
Title: 17TH STREET LIGHTING PLAN

Client/Project
COMMUNITY COLLEGE
OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS
& 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
17TH STREET LIGHTING PLAN

Project No.
177901252

Scale
1"=10'

Drawing No.
Sheet

Revision
E102 13 of 14 0



GENERAL NOTES:

1. ALL EXISTING CONDITION INFORMATION DEPICTED ON THE PLAN IS PER HUNT ENGINEERING PLANS TITLED "ONL. EXISTING CONDITIONS - 1" AND "ONL. EXISTING CONDITIONS - 2" DATED JANUARY 12, 2009. THE PLAN HAS BEEN AMENDED BY STANTEC CONSULTING SERVICES INC. THROUGH THE INCLUSION OF THE EXISTING UNDERGROUND ELECTRIC MAINS AND GAS MAINS WHICH ARE SITUATED WITHIN THE BONNELL PLAZA AREA. THE INFORMATION IS REFERENCED FROM PLANS TITLED "GROUND FLOOR PLAN SOUTH" BY THE KLING PARTNERSHIP DATED NOVEMBER 30, 1979 AND "DETAILS & DIAGRAMS SOUTH WEST WEST" BY THE KLING PARTNERSHIP DATED NOVEMBER 30, 1979 AND LAST REVISED SEPTEMBER 1, 1979. BENCHMARK IS CALLED OUT ON THE HUNT ENGINEERING PLANS NOTED ABOVE AT THE FOLLOWING LOCATION: 17TH STREET AND SPRING GARDEN STREET, SOUTHWEST CORNER OF INTERSECTION, EAST END OF LOWEST GRANITE STEP AT THE MAIN ENTRANCE TO LIBRARY, ELEVATION 81.21. ATTENTION IS CALLED TO THE PHILADELPHIA ZONING CODE AS AMENDED. PROPERTY IS ZONED DD.
2. SUBJECT PREMISES DOES NOT LIE WITHIN A FLOOD HAZARD AREA. SUBJECT PREMISES IS AN AREA "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP COMMUNITY PANEL 42073-0130, LAST REVISED JANUARY 17, 2007.
3. UTILITIES LOCATED FROM PUBLIC UTILITIES OR RIGHT-OF-WAY.
4. NO ADDITIONAL FIELD SURVEY OR EXISTING UTILITY RESEARCH FOR PUBLIC UTILITIES HAS BEEN PERFORMED BY STANTEC CONSULTING SERVICES INC. SHOULD ANY DISCREPANCIES BE FOUND WITH EXISTING FEATURES DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY THE DISCREPANCY WITH THE OWNER OR THE OWNER'S SURVEYOR (HUNT ENGINEERING).
5. ALL PROPOSED UTILITY SERVICES WILL BE UNDERGROUND OR WILL ENTER PROPOSED PROPERTY FROM THE PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL CONFORM TO ALL THE REQUIREMENTS OF PA ACT 112 AS AMENDED.
7. REFER TO PLAN TITLED "ONL. EROSION AND SEDIMENT CONTROL PLAN" AND "ONL. DETAILS - 1" DATED SEPTEMBER 23, 2009 BY HUNT ENGINEERING FOR THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR NPDES APPLICATION.

ISSUED FOR CONSTRUCTION	CPN	NJC	1.12.04
1 CHILLED WATER MAINS PER 5/2/1998 PLAN	CPN	NJC	1.3.10.25
2 CONSTRUCTION SET	CPN	NJC	1.3.10.18
3 ISSUED FOR OWNER REVIEW	WMC	NJC	1.3.08.30
4 SUBMISSION FOR STREETS DEPARTMENT REVIEW	CPN	NJC	1.3.08.30
5 SUBMISSION FOR OWNER'S APPROVAL	CPN	NJC	1.3.05.31
6 SUBMISSION TO DEP FOR BONNELL PLAZA CONSTRUCTION	CPN	NJC	1.3.05.10
7	CPN	APP	17.M4.DD

File Name: 177901252-e103.dwg
Pamela

Client/Project
COMMUNITY COLLEGE OF PHILADELPHIA
PAVILION AND BONNELL PLAZAS & 17TH STREET IMPROVEMENTS
Philadelphia, PA

Title
ELECTRICAL & SITE LIGHTING PLAN
PAVILION PLAZA

Project No. 177901252
Scale 1"=10'
Drawing No. E103
Sheet 14 of 14
Revision 0

SYMBOLS LEGEND

- ⊙ EXTERIOR GROUND MOUNTED LIGHT FIXTURE (POLE, BOLLARD, ETC.)
"W" INDICATES FIXTURE TYPE. DIRECTIONAL ARROW COMPONENT INDICATES DIRECTION OF FIXTURE. RECURRING CIRCULAR COMPONENT INDICATES MOUNTING BASE LOCATION.
- ⊙ EXTERIOR WALL MOUNTED LIGHT FIXTURE
"W" INDICATES FIXTURE TYPE.
- ETR EXISTING TO REMAIN.
- ⊙ GFCI RECEPTACLE.

GENERAL NOTES

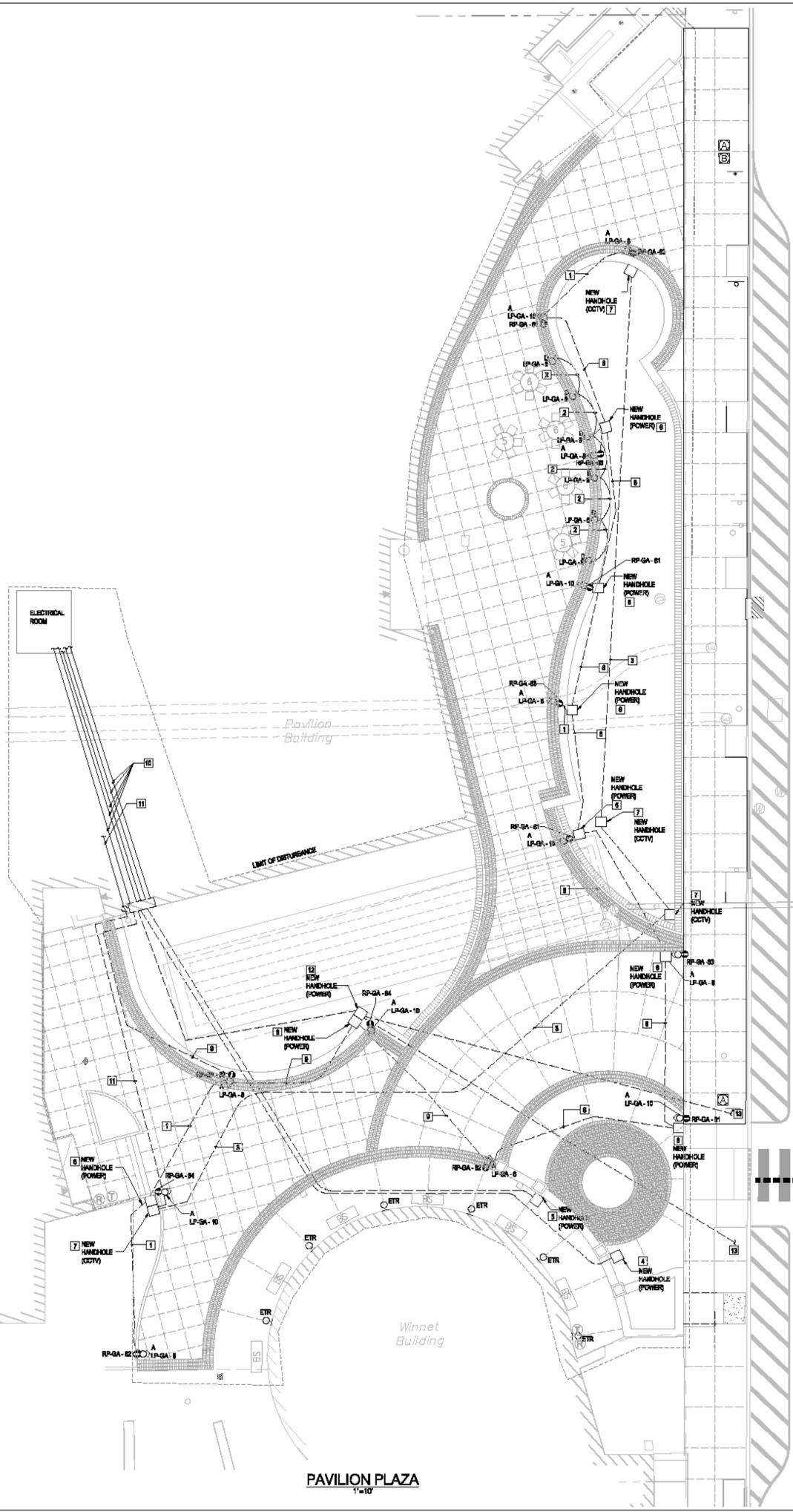
1. THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES AND REGULATIONS.
2. ALL MATERIAL, ELECTRICAL DEVICES, AND EQUIPMENT PROVIDED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND SHALL BE APPROVED AND LABELED UNLESS SPECIFICALLY NOTED OTHERWISE.
3. ALL WORK IS NEW UNLESS NOTED OTHERWISE AND SHALL BE NEAT AND PERFORMED IN A CRAFTSMANLIKE MANNER IN ACCORDANCE WITH NECA 1-2008 AND NEC 1-2012.
4. ALL CONDUIT ROUTINGS AND WIRING SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE THE CONDUIT ROUTING WITH ALL TRADES, PRIOR TO INSTALLATION. THE LOCATION OF ALL EQUIPMENT AND CONDUIT ARE APPROXIMATE, AND ARE SHOWN FOR INFORMATION ONLY.
5. REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWING E101 FOR POLE BASE MOUNTING DETAIL. REFERENCING WHERE UNDERGROUND UTILITIES DO NOT PERMIT THE POLE FOUNDATION DEPTH INDICATED FOR THE FIXTURE. PROVIDE ALTERNATE POLE BASE MOUNTING DETAIL. CONSULT CIVIL ENGINEER AND COLLECT REPRESENTATIVE PHOTO TO CHANGES REGARDING POLE BASE.
6. ALL SITE LIGHTING CIRCUITS ARE TO BE ROUTED THROUGH THE LIGHTING CONTRACTOR, CL, LOCATED IN THE GROUND LEVEL ELECTRICAL ROOM.
7. PROVIDE ADDITIONAL HANDHOLES AS REQUIRED TO FACILITATE CABLE PULLING AND IN ACCORDANCE WITH NEC AND MANUFACTURER'S RECOMMENDATIONS. CABLE PULLING TENSION AS MEASURED WITH A DYNAMOMETER SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION.

KEY NOTES

1. PROVIDE 1" W/C - 8/10 (8/10) CONTACTOR CONTROLLED FOR SITE LIGHTING, 8/10 UNSWITCHED FOR POLE BASE RECEPTACLE AND CAMERA POWER SUPPLY.
2. PROVIDE 3/4" - 3/10 WITH IN SEAT WALL FOR CIRCUITS OF WALL MOUNTED FIXTURES. COORDINATE WITH WALL INSTALLATION.
3. PROVIDE 1" W/C - W/CABLE. MAINTAIN 6" MINIMUM SEPARATION DISTANCE BETWEEN POWER CONDUIT AND OTHER UTILITY PIPING, ETC.
4. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUANTEC PC111842 FOR POWER WIRING TO FUTURE LIGHTS TO BE EMBEDDED IN CONCRETE. PROVIDE 1" CONDUIT AND PULL WIRE BACK TO ELECTRIC ROOM IN PAVILION BUILDING FOR FUTURE CIRCUIT.
5. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUANTEC PC111842 FOR POWER WIRING TO FUTURE 800L SIGN TO BE MOUNTED ON NEW WALL. PROVIDE 1" CONDUIT AND PULL WIRE BACK TO ELECTRIC ROOM IN PAVILION BUILDING FOR FUTURE CIRCUIT.
6. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUANTEC PC111842 FOR POWER WIRING. PROVIDE POWER FEED TO WALL MOUNTED LIGHTS IN SEAT WALL AS INDICATED VIA HANDHOLE.
7. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUANTEC PC111843 FOR CAMERA WIRING.
8. PROVIDE 1" W/C - 18/10 (18/10) CONTACTOR CONTROLLED FOR SITE LIGHTING, 8/10 UNSWITCHED FOR POLE BASE RECEPTACLE AND CAMERA POWER SUPPLY.
9. PROVIDE 1" W/C - 18/10 (18/10) CONTACTOR CONTROLLED FOR SITE LIGHTING, 8/10 UNSWITCHED FOR POLE BASE RECEPTACLE AND CAMERA POWER SUPPLY.
10. ROUTE THE CONDUIT ABOVE THE FINISHED CEILING TO A SURFACE MOUNTED WIRERAY ON THE INTERIOR WALL OF THE BUILDING'S STRUCTURE. SURFACE MOUNT THE CONDUIT ALONG THE WALL - VERTICALLY DOWN TO THE FLOOR SLAB BELOW AND ELBOW OUT FOR ROUTING TO SITE LIGHTING. POLE BASE RECEPTACLES AND CAMERA POWER SUPPLIES. PROVIDE GALVANIZED RIGID CONDUIT TRANSITION AT FOUNDATION WALLS AS PENETRATION.
11. ROUTE THE CONDUIT FROM THE GROUND FLOOR IT ROOM AND ABOVE THE FINISHED CEILING TO THE INTERIOR WALL OF THE BUILDING'S STRUCTURE. SURFACE MOUNT THE CONDUIT ALONG THE WALL - VERTICALLY DOWN TO THE FLOOR SLAB BELOW AND ELBOW OUT FOR ROUTING TO SITE LIGHTING. POLE BASE RECEPTACLES AND CAMERA POWER SUPPLIES. PROVIDE GALVANIZED RIGID CONDUIT TRANSITION AT FOUNDATION WALLS AS PENETRATION. COORDINATE AND CONFIRM LOCATION WITH OWNER. LEAVE SUFFICIENT CABLE LENGTH AT HANDBOLE AND PATCH PANEL. LOCATION FOR FUTURE TERMINATION.
12. PROVIDE 12" X 11" HANDHOLE EQUAL TO QUANTEC PC111842 FOR POWER WIRING TO FUTURE LIGHTING FIXTURES ALONG 17TH STREET. REFER TO DRAWING E102 FOR ADDITIONAL INFORMATION.
13. REFER TO DRAWING E102 FOR CONTINUATION.

17TH STREET
50' Wide (12'-26"-12")
On City Plan / Legally Open
One Way

MATCH LINE



PAVILION PLAZA 1"=10'
BONNELL PLAZA 1"=10'