

COMMUNITY COLLEGE OF PHILADELPHIA
PARKING GARAGE 2013 REPAIRS

1700 SPRING GARDEN STREET
PHILADELPHIA, PENNSYLVANIA

ISSUED FOR BIDDING - MAY 8, 2013



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CONSULTANTS:

Community College of Philadelphia
PARKING GARAGE
2013 REPAIRS
1700 Spring Garden St.
Philadelphia, Pennsylvania

GENERAL NOTES

DIVISION 1 – GENERAL

1.1 ALL DESIGN SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- A. CITY OF PHILADELPHIA CODES AND ORDINANCES, MOST RECENT.
- B. INTERNATIONAL BUILDING CODE (IBC), 2009 EDITION.
- C. FOR ADDITIONAL INFORMATION ON EXISTING STRUCTURE, REFER TO ORIGINAL DESIGN DRAWINGS BY A&R ENGINEERING DATED 8/2/1984.

DIVISION 3 CAST-IN-PLACE CONCRETE

3.1 ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-08, AND ACI GUIDE 362.1R-12. REFER TO SPECIFICATIONS SECTION 03370, "CONCRETE REPAIR" FOR INFORMATION NOT LISTED HEREIN.

- A. READY MIXED/SITE BATCHED CONCRETE REPAIR MATERIAL
- 1.5,000 PSI, 0.40 MAX W/C, 6-1/2% ±1-1/2% AIR, 2-1/2 GAL/CY CNA CORROSION INHIBITOR
- B. PREMIXED HORIZONTAL CONCRETE REPAIR MATERIAL
- 1.REFER TO SPECIFICATION SECTION 03370, "CONCRETE REPAIR" FOR MATERIALS AND REQUIREMENTS.
- C. TROWEL-APPLIED POLYMER MORTAR REPAIR MATERIAL
- 1.REFER TO SPECIFICATION SECTION 03370, "CONCRETE REPAIR" FOR MATERIALS AND REQUIREMENTS.

3.2 CEMENT

- A. ASTM C 150 TYPE I OR III

3.3 AGGREGATES

- A. ASTM C 33

3.4 MILD REINFORCEMENT

- A. MILD REINFORCEMENT, ASTM A 615 GRADE 60

3.5 MIGRATING CORROSION INHIBITOR

- A. MIGRATING CORROSION INHIBITOR SHALL BE APPLIED TO SUPPORTED SLAB SURFACES AS INDICATED ON DRAWINGS.
- B. REFER TO SPECIFICATION SECTION 03555, "CHEMICAL TREATMENT," FOR MATERIALS AND REQUIREMENTS.

DIVISION 3 CAST-IN-PLACE CONCRETE (CONT'D)

3.6 GROUT

- A. PREMIXED, PACKAGED, NON-SHRINK, CHLORIDE-FREE, NON STAINING, F'C = 6000 PSI MINIMUM, ASTM C 1107.

3.7 GENERAL CAST-IN-PLACE CONCRETE

- A. TOOL SLAB JOINTS AT TIME OF FINISHING. SAW CUTTING IS NOT ALLOWED UNLESS APPROVED BY ENGINEER.
- B. FINISH OF REPAIRS TO ARCHITECTURAL CONCRETE SHALL MATCH EXISTING FINISH.

DIVISION 5 MISCELLANEOUS METALS

5.1 DESIGN AND CONSTRUCTION STANDARD – AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION. REFER TO SPECIFICATION SECTION 05990 MISCELLANEOUS METALS FOR INFORMATION NOT LISTED HEREIN.

5.2 ANGLES: ASTM A 36.

5.3 PLATES AND BARS: ASTM A 36.

5.4 ADHESIVE ANCHORS: STAINLESS STEEL, SIZES AS INDICATED ON DRAWINGS. REFER TO SPECIFICATION SECTION 05990, "MISCELLANEOUS METALS" FOR MATERIALS AND REQUIREMENTS.

5.5 ALL WELDING SHALL BE MADE WITH E70XX LOW HYDROGEN ELECTRODES AND SHALL CONFORM TO LATEST EDITION OF THE AMERICAN WELDING SOCIETY SPECIFICATIONS. ALL WELDS SHALL BE PERFORMED BY A CERTIFIED WELDER. CERTIFICATION SHALL BE APPROPRIATE FOR WELDING METHOD AND POSITION

5.6 SURFACE FINISH FOR STEEL MISCELLANEOUS METAL WORK SHALL BE HOT-DIP GALVANIZED.

DIVISION 7 THERMAL AND MOISTURE PROTECTION

7.1 JOINT SEALANTS

- A. ALL JOINTS BETWEEN STRUCTURAL AND ARCHITECTURAL MEMBERS AS INDICATED ON DRAWINGS SHALL BE PROPERLY PREPARED AND FILLED WITH JOINT SEALANT.
- B. REFER TO SPECIFICATION SECTION 07900, "JOINT SEALANTS," FOR MATERIALS AND REQUIREMENTS.

CONSTRUCTION NOTES

A. GENERAL

- 1.WHERE DIMENSIONS ARE INDICATED FOR EXISTING STRUCTURES, THEY ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY IN FIELD (VIF) ALL DIMENSIONS/ELEVATIONS PRIOR TO CONSTRUCTION. ANY VARIATIONS BETWEEN EXISTING DIMENSIONS ON DRAWINGS SHALL BE REPORTED TO ENGINEER.
- 2.ALL OMISSIONS OR CONFLICTS AMONG VARIOUS ELEMENTS OF DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- 3.FIELD VERIFY THE LOCATIONS OF EXISTING STRUCTURES, UTILITIES, ETC., AND NOTIFY ENGINEER OF INTERFERENCES NOT NOTED ON DRAWINGS.
- 4.PRIOR TO BEGINNING WORK, EACH WORK AREA IS TO BE COMPLETELY ENCLOSED. CONTRACTOR TO BE RESPONSIBLE FOR ADEQUATE VENTILATION, FUME AND DUST CONTROL.
- 5.PRIOR TO BEGINNING WORK, DOCUMENT EXISTING CONDITIONS.
- 6.VISITS TO JOB SITE BY ENGINEER TO OBSERVE CONSTRUCTION DO NOT IN ANY WAY MEAN GUARANTEE OF CONTRACTOR'S WORK, NOR RESPONSIBILITY FOR COORDINATION, SUPERVISION, NOR SAFETY AT JOB SITE.
- 7.THE EXISTING CONCRETE DESIGN STRENGTH IS 5,000 PSI (PRECAST) AND 4,000 PSI (CAST-IN-PLACE) AT 28 DAYS ACCORDING TO ORIGINAL STRUCTURAL DRAWINGS. THIS VALUE HAS NOT BEEN CONFIRMED AND MAY VARY.
- 8.ANY OPERATIONS THAT CREATE EXCESSIVE NOISE (HAMMERING, SHOTBLASTING, ETC.) TO BE CONDUCTED BETWEEN 8AM AND 6PM. LOCAL NOISE ORDINANCE WILL GOVERN OPERATIONS.
- 9.TAKE EXTREME CAUTION NOT TO DAMAGE IN ANY WAY THE EXISTING ELECTRICAL SERVICE, TELECOMMUNICATION LINES, COMPUTER LINES, ETC. LOCATE AND MARK ALL SERVICE LINES.
- 10.DO NOT SCALE DRAWINGS.

B. CONSTRUCTION PHASING

- 1.CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL CONSTRUCTION ACTIVITY AND SHALL COOPERATE FULLY WITH OWNER FOR ALL CONSTRUCTION PHASING.
- 2.PARKING OPERATIONS EQUIPMENT SHALL BE TEMPORARILY RELOCATED, AS REQUIRED, TO PROVIDE CONTINUOUS OPERATOR CONTROL DURING ALL PHASES OF CONSTRUCTION. OPERATIONAL EQUIPMENT IS TO BE RETURNED TO EXISTING LOCATIONS AND FUNCTION AT END OF CONSTRUCTION. COORDINATE WITH OWNER.
- 3.CONTRACTOR SHALL MAINTAIN TRAFFIC FLOW TO ALL LEVELS OF THE STRUCTURE.
- 4.CONTRACTOR SHALL COORDINATE ALL PARKING CLOSURES W/ OWNER/OPERATOR 14 DAYS IN ADVANCE OF WORK. A MAXIMUM OF 120 SPACES MAY BE CLOSED FOR CONSTRUCTION AT ONE TIME.
- 5.AREAS OF PARKING ABOVE AND AROUND SHORING SHALL BE CLOSED TO PARKING, PRIOR TO REPAIRS AND SHORING.
- 6.STAGING AREA FOR CONTRACTOR TO BE LOCATED ON ROOF LEVEL. CONTRACTOR SHALL COORDINATE WITH OWNER.
- 7.PROTECT PEDESTRIAN TRAFFIC THROUGHOUT STRUCTURE AND ON SIDEWALKS AROUND PERIMETER OF PARKING STRUCTURE.

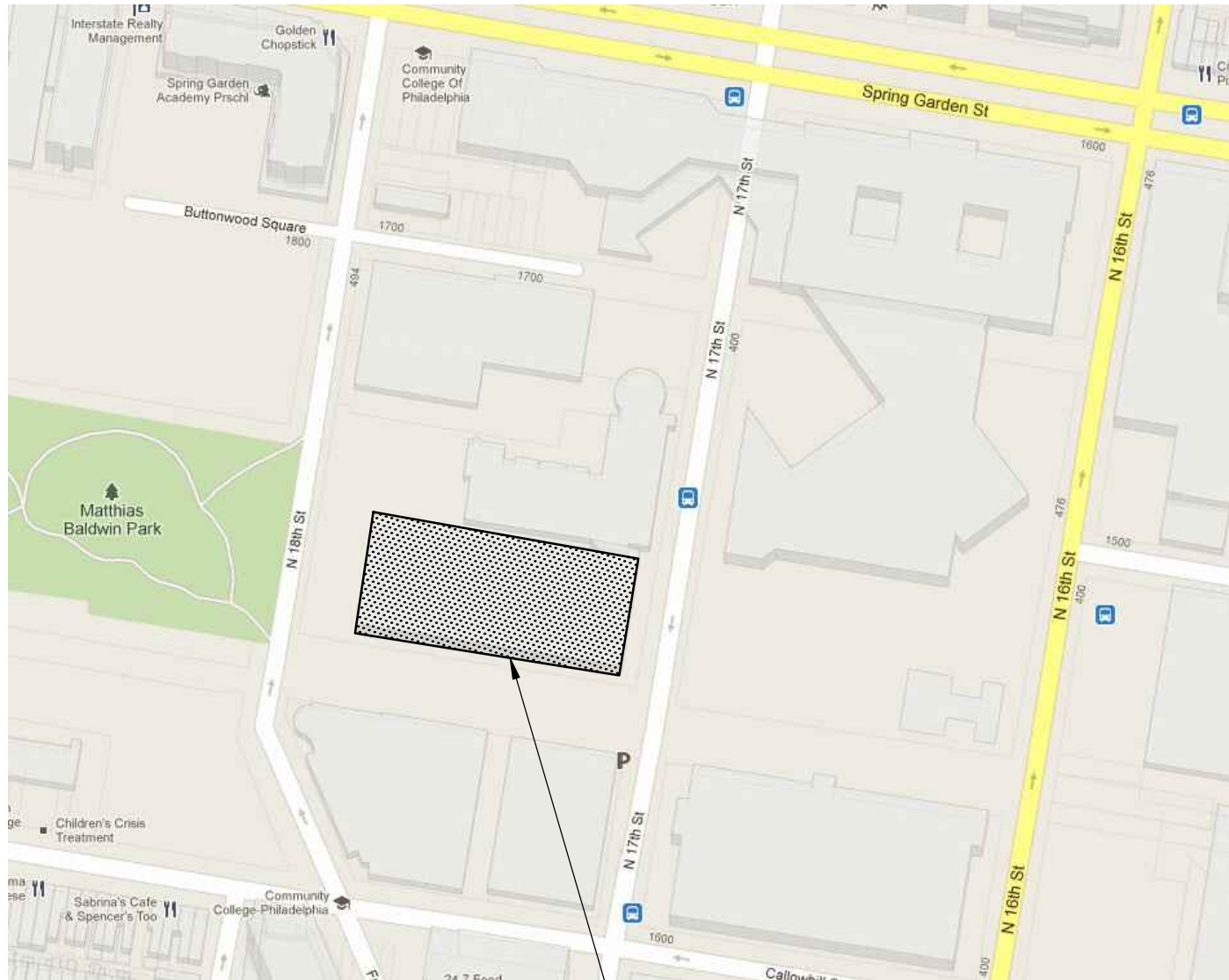
B. CONSTRUCTION PHASING (CONT'D)

- 8.IT WILL BE NECESSARY TO SCHEDULE CONTRACTOR DELIVERIES AND WASTE HAULING TO MINIMIZE INTERFERENCE WITH EXISTING BUILDING OPERATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER.
- 9.ONE STAIR TOWER MUST REMAIN OPEN AT ALL TIMES.
- 10.ACCESS TO THE ELEVATOR TO BE MAINTAINED AT ALL TIMES. EXCEPTION WILL BE DURING DECK COATING.
- C. CONCRETE DELAMINATION REPAIR
- 1.REFER TO SPECIFICATION SECTION 03370, "CONCRETE REPAIR," FOR MATERIALS AND REQUIREMENTS UNLESS NOTED OTHERWISE.
- 2.SOUND ALL AREAS AS INDICATED ON DRAWINGS AND MARK PERIMETER OF AREAS.
- 3.SAWCUT AND CHIP AT PERIMETER OF DELAMINATED AREAS AS INDICATED IN DETAIL 1/SR501.
- 4.REMOVE EXISTING CONCRETE BEYOND DELAMINATION TO SOUND CONCRETE AS INDICATED IN DETAILS.
- 5.REMOVE EXISTING CONCRETE BEYOND DELAMINATION EXPOSING EXISTING REINFORCEMENT STEEL PERIMETER AS INDICATED IN DETAIL 1/SR501.
- 6.PROVIDE UNIFORM HORIZONTAL SURFACE BETWEEN ADJACENT BARS OR WIRES WHEN CAVITY ENCOMPASSES MORE THAN ONE BAR OR WIRE.
- 7.CLEAN ALL EXPOSED REINFORCEMENT STEEL AND OTHER EMBEDDED METALS AND COAT WITH EPOXY MODIFIED COATING PER SPECIFICATION SECTION 03200, "CONCRETE REINFORCEMENT".
- 8.PROVIDE SPRAY OR BRUSH APPLIED BONDING AGENT TO EXCAVATED CAVITY SURFACE.
- 9.REMOVE PATCH MATERIAL.
- 10.STEEL TROWEL FINISH OF UNFORMED CONCRETE PATCH SURFACES TO MATCH ADJACENT AREAS.
- 11.WHERE APPLICABLE CHAMFER CORNERS TO MATCH ADJACENT AREAS.
- 12.CONCRETE PATCH SURFACES TO BE TREATED TO MATCH ADJACENT AREAS.
- 13.NOMINAL SIZES OF MEMBERS ARE INDICATED ON DETAILS, ACTUAL SIZES MAY VARY.
- 14.NOMINAL PATCH DEPTHS ARE INDICATED ON DETAILS, ACTUAL DEPTH MAY VARY.
- 15.PAY BASIS SHALL BE AS INDICATED IN DETAILS AND BID FORMS.

ABBREVIATIONS

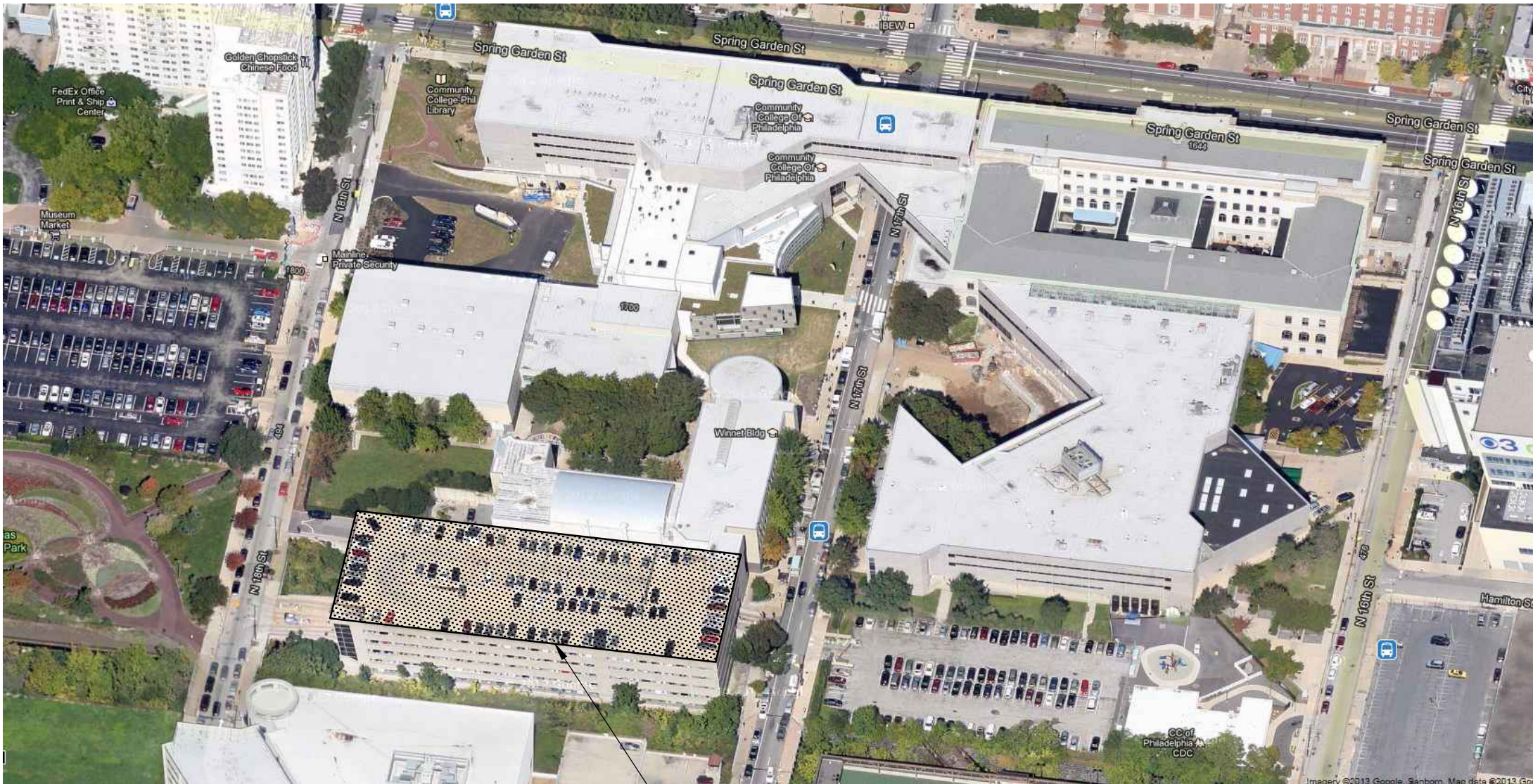
- ALT = ALTERNATE
ADD'L = ADDITIONAL
ARCH = ARCHITECTURAL
BOT = BOTTOM
BRG = BEARING
CIP = CAST-IN-PLACE CONCRETE
CJ = CONSTRUCTION JOINT
CL = CLEAR
COL = COLUMN
CONC = CONCRETE
CONN = CONNECTION
CONT = CONTINUOUS
DET = DETAIL
EA = EACH
EXIST = EXISTING
FD = FLOOR DRAIN
FT = FOOT
GALV = GALVANIZED
JT = JOINT
MIN = MINIMUM
OC = ON CENTER
P/C = PRECAST CONCRETE
REINF = REINFORCING
REQD = REQUIRED
SECT = SECTION
SIM = SIMILAR
SOG = SLAB ON GRADE
SPEC = SPECIFICATION
STL = STEEL
TYP = TYPICAL
UNO = UNLESS NOTED OTHERWISE
W/ = WITH
VIF = VERIFY IN FIELD
WWF = WELDED WIRE FABRIC
ZRC = ZINC RICH COATING

VICINITY MAP



COMMUNITY COLLEGE OF PHILADELPHIA
PARKING GARAGE

SITE LOCATION



COMMUNITY COLLEGE OF PHILADELPHIA
PARKING GARAGE

PROJECT DIRECTORY

OWNER

COMMUNITY COLLEGE
OF PHILADELPHIA
1700 SPRING GARDEN STREET
PHILADELPHIA, PENNSYLVANIA

PRIME CONSULTANT/
STRUCTURAL PARKING



6 North Broad Street
Suite 320
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SHEET INDEX

GENERAL

- G001 COVER SHEET AND DRAWING INDEX

STRUCTURAL

- SR101 GROUND LEVEL REPAIR PLAN
SR102 FIRST LEVEL REPAIR PLAN
SR103 SECOND LEVEL REPAIR PLAN
SR104 THIRD LEVEL REPAIR PLAN
SR105 FOURTH LEVEL REPAIR PLAN
SR106 FIFTH LEVEL REPAIR PLAN
- SR501 REPAIR DETAILS
SR511 WATERPROOFING DETAILS

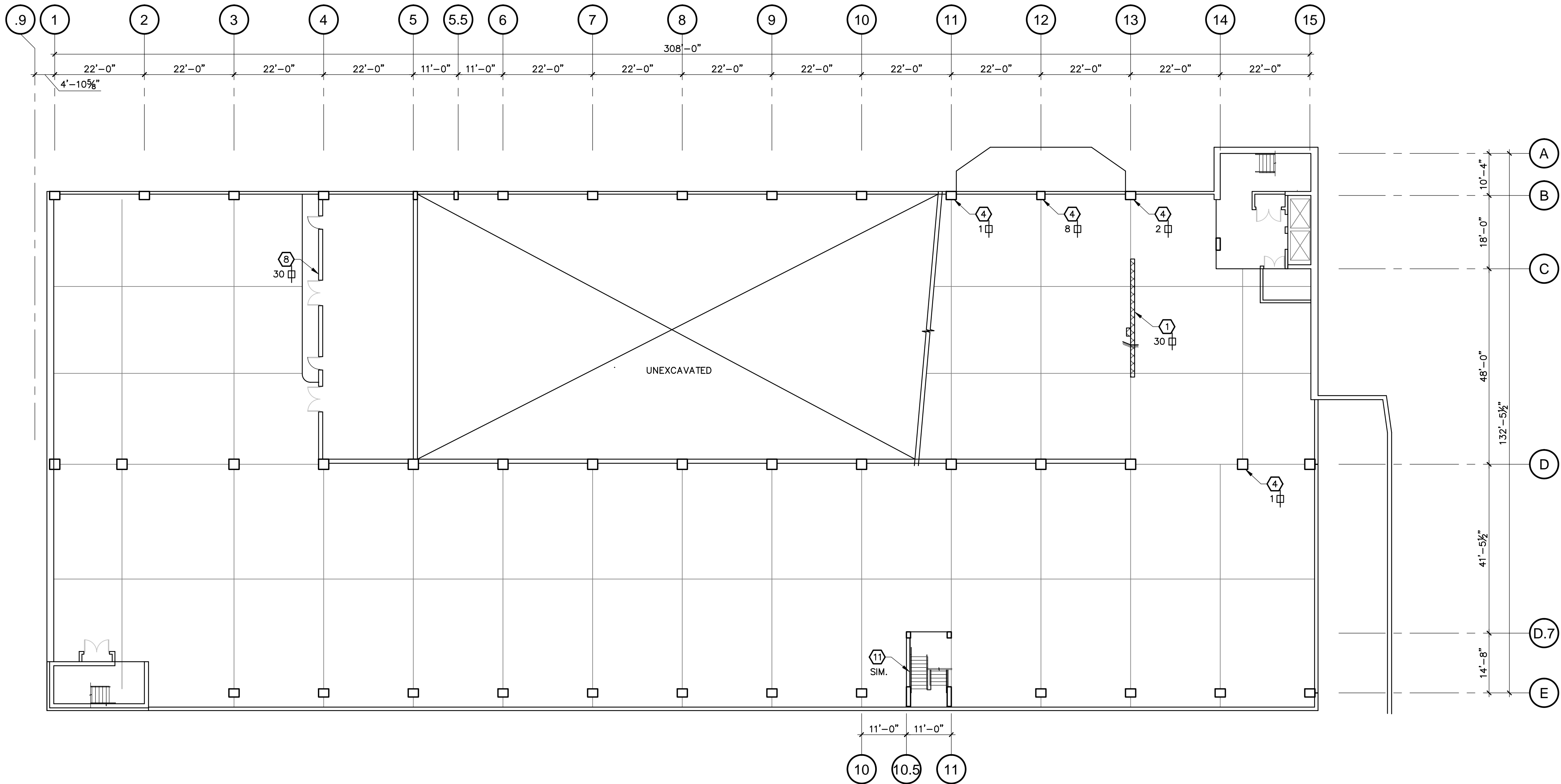
ISSUE/REV. NO.	DATE	DESCRIPTION
1	05/08/2013	ISSUED FOR BIDDING

PROJECT NO.	R1-2013-667
DRAWN BY	MGM
CHECKED BY	PEU

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SHEET TITLE
COVER SHEET
AND DRAWING
INDEX

G001



1 GROUND LEVEL REPAIR PLAN
SCALE: 1/16"=1'-0"

SHEET NOTES

- REFER TO DRAWING G001 FOR GENERAL NOTES.
- COORDINATE PARKING CLOSURES WITH OWNER 14 DAYS IN ADVANCE. BARRIERS AND ENCLOSURES SHALL BE IN PLACE PRIOR TO START OF DEMOLITION.
- LIVE ELECTRICAL CONDUIT IS EMBEDDED WITHIN THE TOPPING SLAB. CONTRACTOR SHALL EXERCISE CAUTION DURING ALL DEMOLITION OPERATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER TO SHUT OFF POWER IF REPAIRS ARE LOCATED NEAR CONDUIT. REPORT CORRODED CONDUIT TO ENGINEER FOR INSPECTION PRIOR TO COMPLETION OF REPAIR.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING INFRASTRUCTURE (MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, SECURITY.) DURING CONSTRUCTION. DAMAGE TO EXISTING COMPONENTS SHALL BE REPLACED BY OWNER AT CONTRACTOR'S EXPENSE.
- AREAS OF DETERIORATION AND REPAIR SHOWN ON PLAN ARE REPRESENTATIVE OF SIZE AND TYPE OF REPAIR. NOT ALL REPAIR LOCATIONS AND DETERIORATION ARE SHOWN ON PLANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND IDENTIFYING REPAIR AREA PRIOR TO DEMOLITION.
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- CIP TOPPING SLAB IS REINFORCED W/ W.W.F. W/ AN ADDITIONAL MAT OF #4 BARS AT COLUMNS. REFER TO DETAIL 2/SR501 FOR EXISTING CONDITIONS. CONTRACTOR SHALL EXERCISE CAUTION DURING ALL DEMOLITION OPERATIONS AND SHALL REPLACE ANY DAMAGED BARS AT NO ADDITIONAL COST TO THE OWNER.

REPAIR NOTES #:

- CIP TOPPING SLAB REPAIR, REFER TO DETAIL 3/SR501.
- JOINT EDGE CIP TOPPING SLAB REPAIR, REFER TO DETAIL 4/SR501.
- CIP TOPPING SLAB REPAIR @ WALL CONNECTION, REFER TO DETAIL 5,6/SR501.
- COLUMN REPAIR, REFER TO DETAIL 7/SR501.
- WALL REPAIR, REFER TO DETAIL 8/SR501.
- P/C FACADE PANEL REPAIR, REFER TO DETAIL 9/SR501.
- UNDERSIDE P/C TEE FLANGE EDGE REPAIR, REFER TO DETAIL 10/SR501.
- UNDERSIDE P/C TEE STEM REPAIR, REFER TO DETAIL 11/SR501.
- UNDERSIDE BEAM REPAIR, REFER TO DETAIL 12/SR501.
- STAIR REPAIR, REFER TO DETAIL 13/SR501.
- GROUT POCKET REPAIR, REFER TO DETAIL 14/SR501.
- REMOVE AND REPLACE P/C CONNECTION, REFER TO DETAIL 15,16/SR501.
- CONTROL JT. SEALANT REPLACEMENT, REFER TO DETAIL 1/SR511.
- COVE SEALANT REPLACEMENT, REFER TO DETAIL 2/SR511.
- ROUT AND SEAL CRACKS, REFER TO DETAIL 4/SR511.
- VERTICAL AND HORIZONTAL WALL SEALANT REPLACEMENT, REFER TO DETAIL 3/SR511.
- FLOOR DRAIN SEALANT REPLACEMENT, REFER TO DETAIL 5/SR511.
- APPLY MIGRATING CORROSION INHIBITOR TO LEVEL 5 AND EXPOSED PORTION OF LEVEL 4, REFER TO SPECIFICATION SECTION 07570.
- LINE STRIPING AND FLOOR GRAPHICS TO BE REPAINTED AFTER APPLICATION OF CORROSION INHIBITOR, REFER TO SPECIFICATION SECTION 09920.
- REPLACE DOOR, FRAME, CLOSER, AND HARDWARE, REFER TO SPECIFICATION SECTION 08110.
- REPLACE DAMAGED SECTION OF EXPANSION JOINT.

LEGEND

- XXXX CIP TOPPING REPAIR
XXXXX UNDERSIDE P/C TEE FLANGE REPAIR
— CRACK, SEE NOTES FOR REPAIR
FD FLOOR DRAIN

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SHEET TITLE
GROUND LEVEL REPAIR PLAN

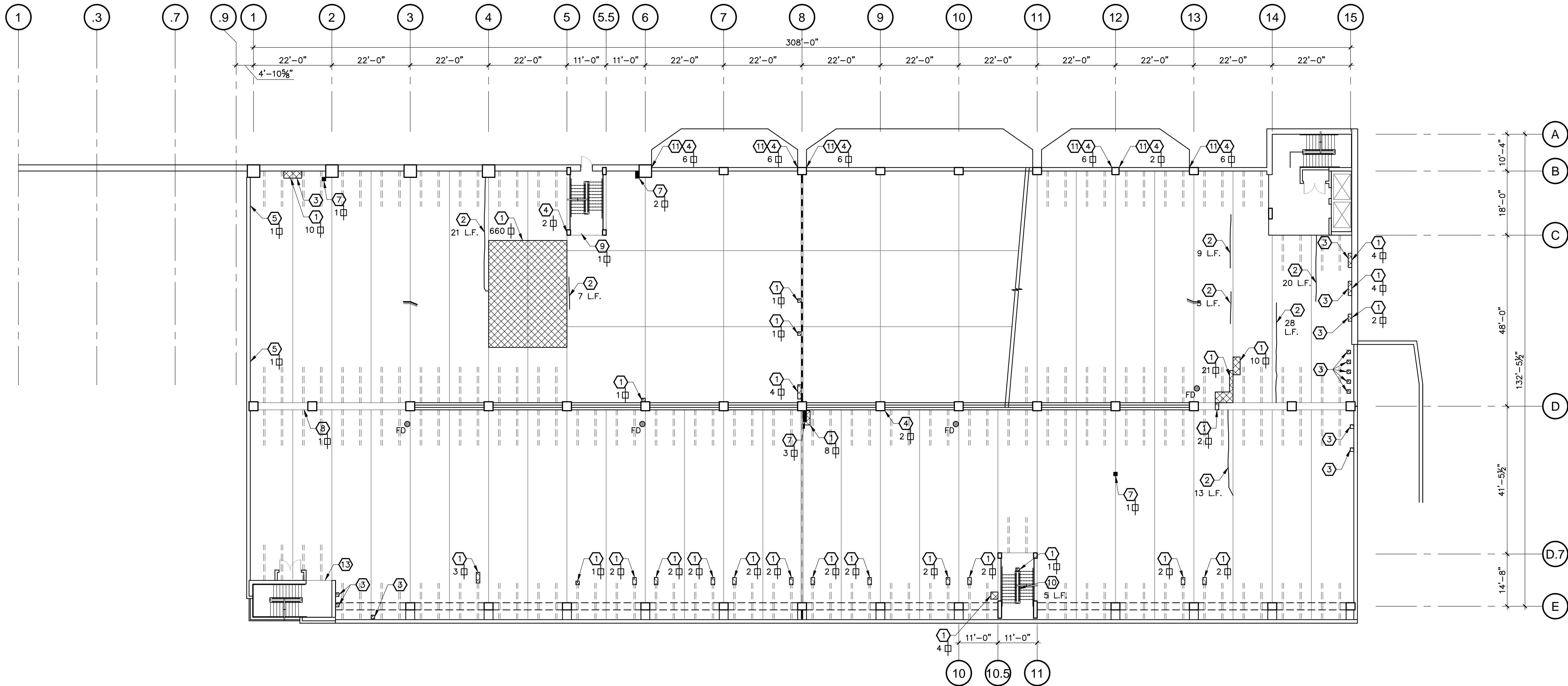
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SHEET TITLE
FIRST LEVEL
REPAIR PLAN

SR102



1 FIRST LEVEL REPAIR PLAN
SCALE: 1/16"=1'-0"

SHEET NOTES

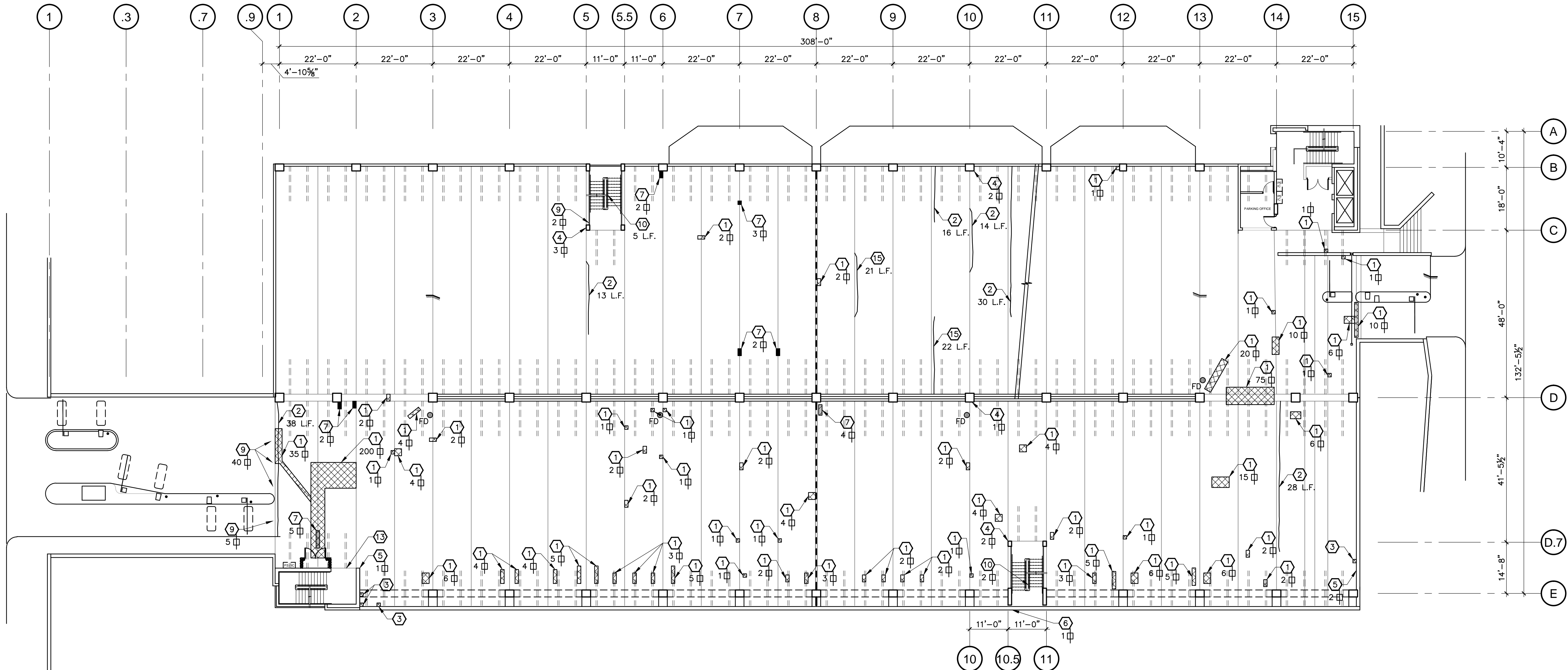
- REFER TO DRAWING G001 FOR GENERAL NOTES.
- COORDINATE PARKING CLOSURES WITH OWNER 14 DAYS IN ADVANCE. BARRIERS AND ENCLOSURES SHALL BE IN PLACE PRIOR TO START OF DEMOLITION.
- LIVE ELECTRICAL CONDUIT IS EMBEDDED WITHIN THE TOPPING SLAB. CONTRACTOR SHALL EXERCISE CAUTION DURING ALL DEMOLITION OPERATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER TO SHUT OFF POWER IF REPAIRS ARE LOCATED NEAR CONDUIT. REPORT CORRODED CONDUIT TO ENGINEER FOR INSPECTION PRIOR TO COMPLETION OF REPAIR.
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- DISCONNECTION, REMOVAL, AND RE-INSTALLATION OF EXISTING LIGHT FIXTURES AND CONDUIT IN THE REPAIR AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CIP TOPPING SLAB IS REINFORCED W/ W.W.F. W/ AN ADDITIONAL MAT OF #4 BARS AT COLUMNS. REFER TO DETAIL 2/SR501 FOR EXISTING CONDITIONS. CONTRACTOR SHALL EXERCISE CAUTION DURING ALL DEMOLITION OPERATIONS AND SHALL REPLACE ANY DAMAGED BARS AT NO ADDITIONAL COST TO THE OWNER.

REPAIR NOTES #:

- CIP TOPPING SLAB REPAIR, REFER TO DETAIL 3/SR501.
- JOINT EDGE CIP TOPPING SLAB REPAIR, REFER TO DETAIL 4/SR501.
- P/C TOPPING SLAB REPAIR @ WALL CONNECTION, REFER TO DETAIL 5,6/SR501.
- COLUMN REPAIR, REFER TO DETAIL 7/SR501.
- WALL REPAIR, REFER TO DETAIL 8/SR501.
- P/C FACADE PANEL REPAIR, REFER TO DETAIL 9/SR501.
- UNDERSIDE P/C TEE FLANGE EDGE REPAIR, REFER TO DETAIL 10/SR501.
- UNDERSIDE P/C TEE STEM REPAIR, REFER TO DETAIL 11/SR501.
- UNDERSIDE BEAM REPAIR, REFER TO DETAIL 12/SR501.
- STAIR REPAIR, REFER TO DETAIL 13/SR501.
- GROUT POCKET REPAIR, REFER TO DETAIL 14/SR501.
- REMOVE AND REPLACE P/C CONNECTION, REFER TO DETAIL 15,16/SR501.
- CONTROL JT. SEALANT REPLACEMENT, REFER TO DETAIL 1/SR511.
- COVE SEALANT REPLACEMENT, REFER TO DETAIL 2/SR511.
- ROUT AND SEAL CRACKS, REFER TO DETAIL 4/SR511.
- VERTICAL AND HORIZONTAL WALL SEALANT REPLACEMENT, REFER TO DETAIL 3/SR511.
- FLOOR DRAIN SEALANT REPLACEMENT, REFER TO DETAIL 5/SR511.
- APPLY MIGRATING CORROSION INHIBITOR TO LEVEL 5 AND EXPOSED PORTION OF LEVEL 4, REFER TO SPECIFICATION SECTION 07570.
- LINE STRIPPING AND FLOOR GRAPHICS TO BE REPAINTED AFTER APPLICATION OF CORROSION INHIBITOR, REFER TO SPECIFICATION SECTION 09920.
- REPLACE DOOR, FRAME, CLOSER, AND HARDWARE, REFER TO SPECIFICATION SECTION 08110.
- REPLACE DAMAGED SECTION OF EXPANSION JOINT.

LEGEND

- CIP TOPPING REPAIR
- UNDERSIDE P/C TEE FLANGE REPAIR
- CRACK, SEE NOTES FOR REPAIR
- FLOOR DRAIN



1 SECOND LEVEL REPAIR PLAN
SCALE: 1/16"=1'-0"
North

SHEET NOTES

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3. CIP TOPPING SLAB REPAIR @ WALL CONNECTION, REFER TO DETAIL 5,6/SR501.
4. COLUMN REPAIR, REFER TO DETAIL 7/SR501.
5. WALL REPAIR, REFER TO DETAIL 8/SR501.
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20. REPLACE DOOR, FRAME, CLOSER, AND HARDWARE, REFER TO SPECIFICATION SECTION 08110.
21. REPLACE DAMAGED SECTION OF EXPANSION JOINT.

LEGEND

- CIP TOPPING REPAIR
- UNDERSIDE P/C TEE FLANGE REPAIR
- CRACK, SEE NOTES FOR REPAIR
- FLOOR DRAIN

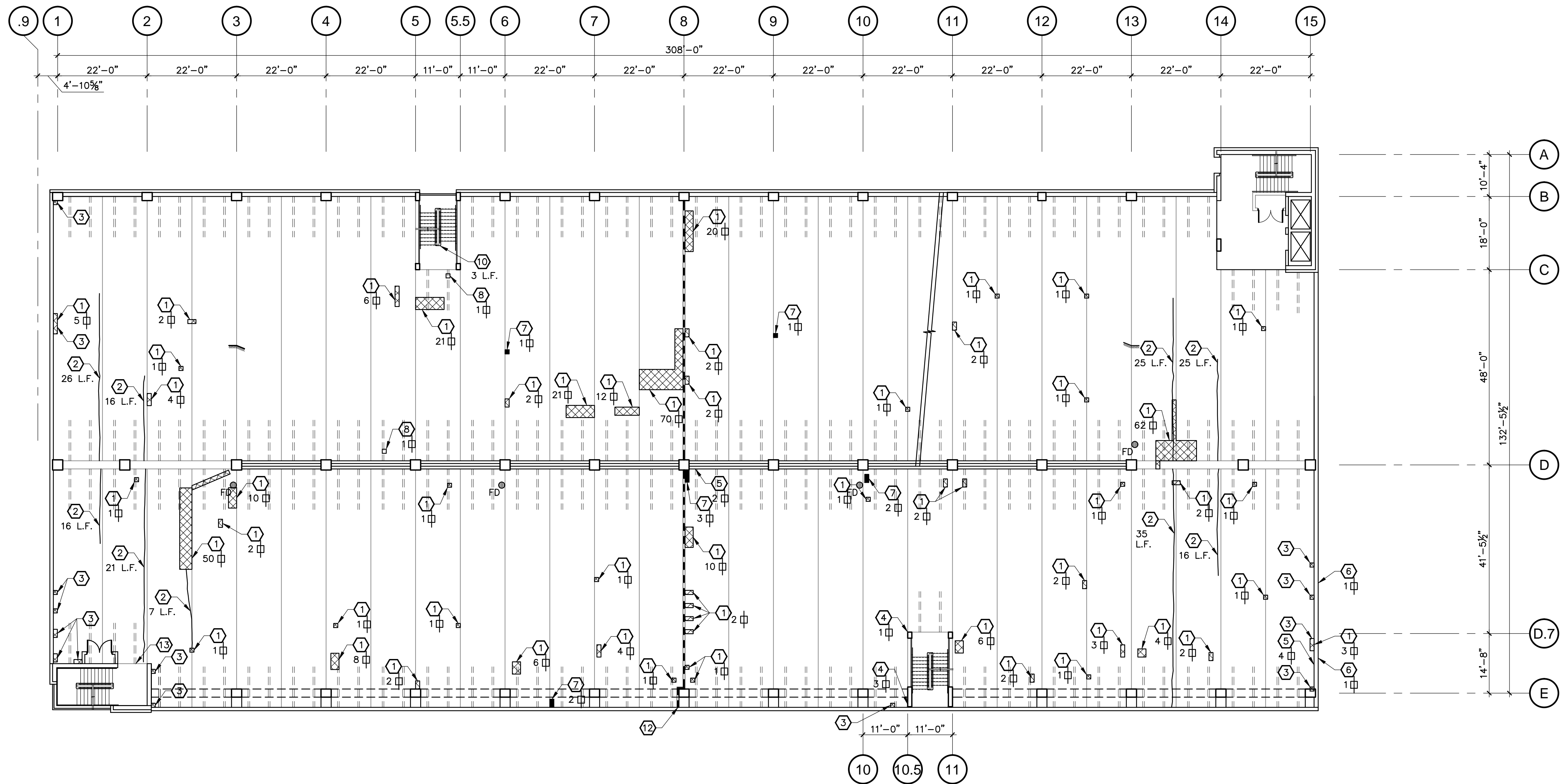
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SHEET TITLE
SECOND LEVEL REPAIR PLAN

SR103



1 THIRD LEVEL REPAIR PLAN
SCALE: 1/16"=1'-0"

SHEET NOTES

1. REFER TO DRAWING G001 FOR GENERAL NOTES.
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3. LIVE ELECTRICAL CONDUIT IS EMBEDDED WITHIN THE TOPPING SLAB. CONTRACTOR SHALL EXERCISE CAUTION DURING ALL DEMOLITION OPERATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER TO SHUT OFF POWER IF REPAIRS ARE LOCATED NEAR CONDUIT. REPORT CORRODED CONDUIT TO ENGINEER FOR INSPECTION PRIOR TO COMPLETION OF REPAIR.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING INFRASTRUCTURE (MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, SECURITY.) DURING CONSTRUCTION. DAMAGE TO EXISTING COMPONENTS SHALL BE REPLACED BY OWNER AT CONTRACTOR'S EXPENSE.
5. AREAS OF DETERIORATION AND REPAIR SHOWN ON PLAN ARE REPRESENTATIVE OF SIZE AND TYPE OF REPAIR. NOT ALL REPAIR LOCATIONS AND DETERIORATION ARE SHOWN ON PLANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND IDENTIFYING REPAIR AREA PRIOR TO DEMOLITION.
6. DISCONNECTION, REMOVAL, AND RE-INSTALLATION OF EXISTING LIGHT FIXTURES AND CONDUIT IN THE REPAIR AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CIP TOPPING SLAB IS REINFORCED W/ W.W.F. W/ AN ADDITIONAL MAT OF #4 BARS AT COLUMNS. REFER TO DETAIL 2/SR501 FOR EXISTING CONDITIONS. CONTRACTOR SHALL EXERCISE CAUTION DURING ALL DEMOLITION OPERATIONS AND SHALL REPLACE ANY DAMAGED BARS AT NO ADDITIONAL COST TO THE OWNER.

REPAIR NOTES #:

1. CIP TOPPING SLAB REPAIR, REFER TO DETAIL 3/SR501.
2. JOINT EDGE CIP TOPPING SLAB REPAIR, REFER TO DETAIL 4/SR501.
3. CIP TOPPING SLAB REPAIR @ WALL CONNECTION, REFER TO DETAIL 5,6/SR501.
4. COLUMN REPAIR, REFER TO DETAIL 7/SR501.
5. WALL REPAIR, REFER TO DETAIL 8/SR501.
6. P/C FACADE PANEL REPAIR, REFER TO DETAIL 9/SR501.
7. UNDERSIDE P/C TEE FLANGE EDGE REPAIR, REFER TO DETAIL 10/SR501.
8. UNDERSIDE P/C TEE STEM REPAIR, REFER TO DETAIL 11/SR501.
9. UNDERSIDE BEAM REPAIR, REFER TO DETAIL 12/SR501.
10. STAIR REPAIR, REFER TO DETAIL 13/SR501.
11. GROUT POCKET REPAIR, REFER TO DETAIL 14/SR501.
12. REMOVE AND REPLACE P/C CONNECTION, REFER TO DETAIL 15,16/SR501.
13. CONTROL JT. SEALANT REPLACEMENT, REFER TO DETAIL 1/SR511.
14. COVE SEALANT REPLACEMENT, REFER TO DETAIL 2/SR511.
15. ROUT AND SEAL CRACKS, REFER TO DETAIL 4/SR511.
16. VERTICAL AND HORIZONTAL WALL SEALANT REPLACEMENT, REFER TO DETAIL 3/SR511.
17. FLOOR DRAIN SEALANT REPLACEMENT, REFER TO DETAIL 5/SR511.
18. APPLY MIGRATING CORROSION INHIBITOR TO LEVEL 5 AND EXPOSED PORTION OF LEVEL 4, REFER TO SPECIFICATION SECTION 07570.
19. LINE STRIPING AND FLOOR GRAPHICS TO BE REPAINTED AFTER APPLICATION OF CORROSION INHIBITOR, REFER TO SPECIFICATION SECTION 09920.
20. REPLACE DOOR, FRAME, CLOSER, AND HARDWARE, REFER TO SPECIFICATION SECTION 08110.
21. REPLACE DAMAGED SECTION OF EXPANSION JOINT.

LEGEND

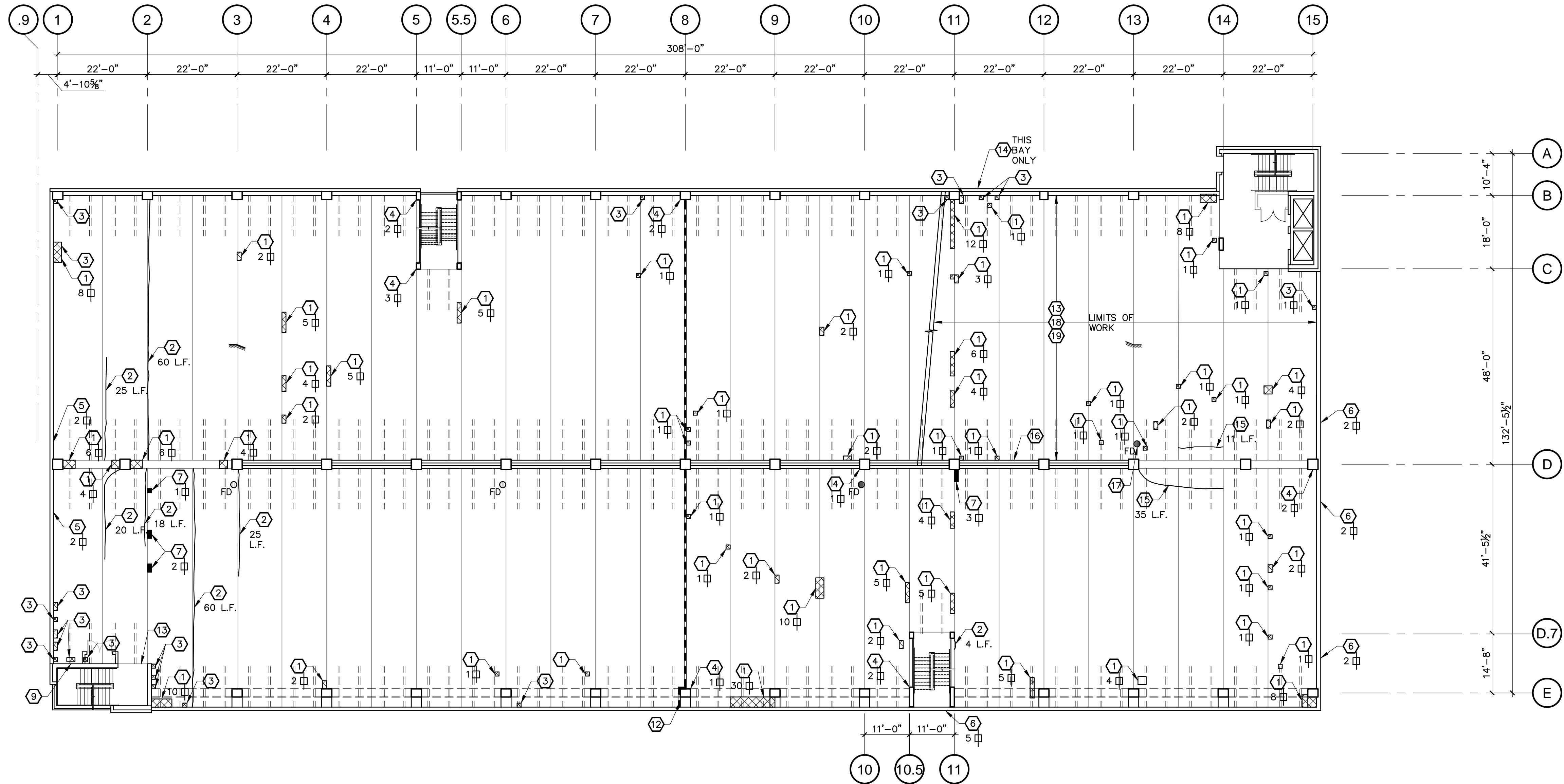
- CIP TOPPING REPAIR
- UNDERSIDE P/C TEE FLANGE REPAIR
- CRACK, SEE NOTES FOR REPAIR
- FLOOR DRAIN

ISSUE/REV. NO.	DATE	DESCRIPTION
1	05/08/2013	ISSUED FOR BIDDING

PROJECT NO.	R1-2013-667
DRAWN BY	MGM
CHECKED BY	PEU

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SHEET TITLE
THIRD LEVEL REPAIR PLAN



1 FOURTH LEVEL REPAIR PLAN
SCALE: 1/16"=1'-0"

SHEET NOTES

1. REFER TO DRAWING G001 FOR GENERAL NOTES.
2. COORDINATE PARKING CLOSURES WITH OWNER 14 DAYS IN ADVANCE. BARRIERS AND ENCLOSURES SHALL BE IN PLACE PRIOR TO START OF DEMOLITION.
3. LIVE ELECTRICAL CONDUIT IS EMBEDDED WITHIN THE TOPPING SLAB. CONTRACTOR SHALL EXERCISE CAUTION DURING ALL DEMOLITION OPERATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER TO SHUT OFF POWER IF REPAIRS ARE LOCATED NEAR CONDUIT. REPORT CORRODED CONDUIT TO ENGINEER FOR INSPECTION PRIOR TO COMPLETION OF REPAIR.
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9. UNDERSIDE BEAM REPAIR, REFER TO DETAIL 12/SR501.
10. STAIR REPAIR, REFER TO DETAIL 13/SR501.
11. GROUT POCKET REPAIR, REFER TO DETAIL 14/SR501.
12. REMOVE AND REPLACE P/C CONNECTION, REFER TO DETAIL 15,16/SR501.
13. CONTROL JT. SEALANT REPLACEMENT, REFER TO DETAIL 1/SR511.
14. COVE SEALANT REPLACEMENT, REFER TO DETAIL 2/SR511.
15. ROUT AND SEAL CRACKS, REFER TO DETAIL 4/SR511.
16. VERTICAL AND HORIZONTAL WALL SEALANT REPLACEMENT, REFER TO DETAIL 3/SR511.
17. FLOOR DRAIN SEALANT REPLACEMENT, REFER TO DETAIL 5/SR511.
18. APPLY MIGRATING CORROSION INHIBITOR TO LEVEL 5 AND EXPOSED PORTION OF LEVEL 4, REFER TO SPECIFICATION SECTION 07570.
19. LINE STRIPING AND FLOOR GRAPHICS TO BE REPAINTED AFTER APPLICATION OF CORROSION INHIBITOR, REFER TO SPECIFICATION SECTION 09920.
20. REPLACE DOOR, FRAME, CLOSER, AND HARDWARE, REFER TO SPECIFICATION SECTION 08110.
21. REPLACE DAMAGED SECTION OF EXPANSION JOINT.

LEGEND

- CIP TOPPING REPAIR
- UNDERSIDE P/C TEE FLANGE REPAIR
- CRACK, SEE NOTES FOR REPAIR
- FLOOR DRAIN

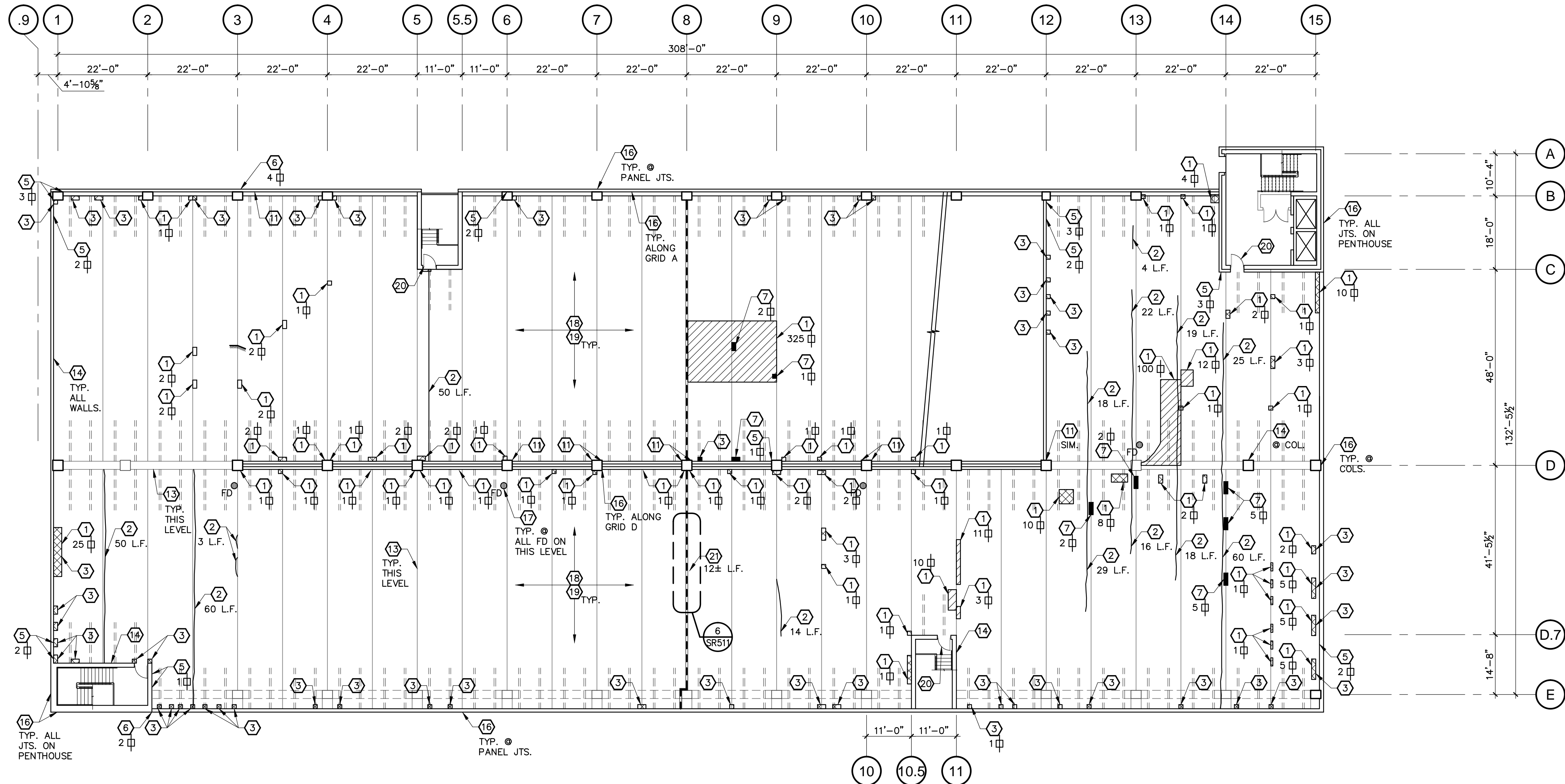
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SHEET TITLE
FOURTH LEVEL REPAIR PLAN

SR105



1 ROOF LEVEL REPAIR PLAN
SCALE: 1/16"=1'-0"



SHEET NOTES

- REFER TO DRAWING G001 FOR GENERAL NOTES.
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SHEET TITLE
ROOF LEVEL
REPAIR PLAN



